



## **Metro Inner-North Joint Development Assessment Panel Agenda**

**Meeting Date and Time:** Wednesday, 14 October 2020; 9.00am  
**Meeting Number:** MINJDAP/43  
**Meeting Venue:** Town of Bassendean  
48 Old Perth Road, Bassendean

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## **Attendance**

### **DAP Members**

Ms Francesca Lefante (Presiding Member)  
Ms Lee O'Donohue (Deputy Presiding Member)  
Mr John Syme (Third Specialist Member)  
Cr Renee McLennan (Local Government Member, Town of Bassendean)  
Cr Kathryn Hamilton (Local Government Member, Town of Bassendean)

### **Officers in attendance**

Ms Donna Shaw (Town of Bassendean)

### **Minute Secretary**

Ms Amy Holmes (Town of Bassendean)

### **Applicants and Submitters**

Ms Clare McLean (Peter Webb & Associates)

### **Members of the Public / Media**

Nil

#### **1. Opening of Meeting, Welcome and Acknowledgement**

The Presiding Member declares the meeting open and acknowledges the traditional owners and pay respects to Elders past and present of the land on which the meeting is being held.

#### **2. Apologies**

Nil

#### **3. Members on Leave of Absence**

Nil

#### **4. Noting of Minutes**

Signed minutes of previous meetings are available on the [DAP website](#).





## 5. Declarations of Due Consideration

Any member who is not familiar with the substance of any report or other information provided for consideration at the DAP meeting must declare that fact before the meeting considers the matter.

## 6. Disclosure of Interests

Nil

## 7. Deputations and Presentations

- 7.1** Ms Clare McLean (Peter Webb & Associates) presenting in support of the recommendation for the application at Item 8.1. The presentation will address support of the recommendation.

The Town of Bassendean may be provided with the opportunity to respond to questions of the panel, as invited by the Presiding Member.

## 8. Form 1 – Responsible Authority Reports – DAP Applications

### 8.1 Lot 54 (27) Hamilton Street, Lots 84 (68) & 85 (70) Old Perth Road, Bassendean

Development Description: Aged Care Facility and Commercial  
Applicant: Ms Clare McLean, Peter Webb & Associates  
Owner: Mr Geoff Taylor, T & T Management Services PTY LTD  
Mr Michael Cross, T & T Management Services PTY LTD  
Responsible Authority: Town of Bassendean  
DAP File No: DAP/20/01833

## 9. Form 2 – Responsible Authority Reports – DAP Amendment or Cancellation of Approval

Nil

## 10. State Administrative Tribunal Applications and Supreme Court Appeals

Current SAT Applications				
File No. & SAT DR No.	LG Name	Property Location	Application Description	Date Lodged
DAP/19/01600 DR161/2019	Town of Claremont	Lots 18 (164) and 19 (162) Alfred Road, Swanbourne	Proposed Childcare Centre	07/10/2019
DAP/19/01741 DR111/2020	City of Nedlands	Lot 689 (5) Hillway, Nedlands	Multiple Dwelling Development	27/05/2020
DAP/20/01770 DR161/2020	City of Nedlands	Lot 100 (97) and Lot 500 (105) Stirling Highway, Nedlands	Mixed Use Development	21/07/2020
DAP/19/01651 DR160/2020	City of Nedlands	Lot 1 (80) Stirling Highway, Lots 21-23 (2, 4 & 6) Florence Road and Lots 33 & 33 (9&7) Stanley Street, Nedlands	Shopping Centre	21/07/2020



Current SAT Applications				
File No. & SAT DR No.	LG Name	Property Location	Application Description	Date Lodged
DAP/17/01353 DR122/2020	City of Stirling	Lot 100 (304) Scarborough Beach Road, Osborne Park	Motor Vehicle Sales and Repair	08/06/2020

## 11. General Business

In accordance with Section 7.3 of the DAP Standing Orders 2017 only the Presiding Member may publicly comment on the operations or determinations of a DAP and other DAP members should not be approached to make comment.

## 12. Meeting Closure



## Presentation Request Form

Regulation 40(3) and DAP Standing Orders 2017 cl. 3.5

**Must be submitted at least 72 hours (3 ordinary days) before the meeting**

### Presentation Request Guidelines

Persons interested in presenting to a DAP must first consider whether their concern has been adequately addressed in the responsible authority report or other submissions. Your request will be determined by the Presiding Member based on individual merit and likely contribution to assist the DAP's consideration and determination of the application.

Presentations are not to exceed **5 minutes**. It is important to note that the presentation content will be **published on the DAP website** as part of the meeting agenda.

Please complete a separate form for each presenter and submit to [daps@dplh.wa.gov.au](mailto:daps@dplh.wa.gov.au)

### Presenter Details

Name	Ms CLARE McLEAN
Company (if applicable)	PETER WEBB & ASSOCIATES
Please identify if you have any special requirements:	<b>YES</b> <input type="checkbox"/> <b>NO</b> <input checked="" type="checkbox"/> If yes, please state any accessibility or special requirements: <a href="#">Click or tap here to enter text.</a>

### Meeting Details

DAP Name	METRO INNER-NORTH
Meeting Date	14 OCTOBER 2020
DAP Application Number	DAP/43
Property Location	LOT 53 (NO. 27) HAMILTON STREET, LOTS 84 (NO. 68) AND 85 (NO. 70) OLD PERTH ROAD, BASSENDEAN
Agenda Item Number	8.1

### Presentation Details

I have read the contents of the report contained in the Agenda and note that my presentation content will be published as part of the Agenda:	<b>YES</b> <input checked="" type="checkbox"/>
Is the presentation in support of or against the <u>report recommendation</u> ? ( <i>contained within the Agenda</i> )	<b>SUPPORT</b> <input checked="" type="checkbox"/> <b>AGAINST</b> <input type="checkbox"/>
Is the presentation in support of or against the <u>proposed development</u> ?	<b>SUPPORT</b> <input checked="" type="checkbox"/> <b>AGAINST</b> <input type="checkbox"/>
Will the presentation require power-point facilities?	<b>YES</b> <input type="checkbox"/> <b>NO</b> <input checked="" type="checkbox"/> <b>If yes, please attach</b>



### **Presentation Content\***

These details may be circulated to the local government and applicant if deemed necessary by the Presiding Member. Handouts or power points will not be accepted on the day.

Brief sentence summary for inclusion on the Agenda	<i>The presentation will address:</i> In support of the recommendation.
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In accordance with Clause 3.5.2 of the *DAP Standing Orders*, your presentation request must also be accompanied with a written document detailing the content of your presentation.

*Please attach detailed content of presentation or provide below:*

The purpose of this (brief) presentation is to:

1. advise that I am the Planning Consultant acting for T&T Management Services Pty Ltd, and the Aegis Aged Care Group, in this Application.
2. introduce the Project Architect, Mr Guy Grant of Montague Grant Architects, who is present at the meeting to respond to any specific design related queries of the Panel.
3. briefly explain that this Application seeks approval for a modified version of the previous development approved by JDAP in 2018.
4. note the main (relatively minor) revisions to the previously approved development proposal, which include:
  - 4.1. the development no longer proposing the two (2) floors of over 55 years apartments. These apartments have been replaced with additional aged care beds. The over 55 years apartments have been removed as there is no market demand for this type of apartment. There is however an urgent need for additional aged care beds. The revised development responds to this demand by increasing the number of beds at the Aegis Bassendean facility.
  - 4.2. the internal layout of the upper levels of the development being revised to accommodate the increased number of aged beds.
  - 4.3. the overall height of the building being marginally reduced from five (5) storeys to four (4) storeys due to the removal of the over 55 years apartment component of the development.
5. advise that the proposed development retains the three (3) commercial tenancies proposed along the frontage of the site to Old Perth Road.
6. advise that the high-quality architectural design of the building is retained, as previously approved.
7. advise JDAP that we have reviewed the recommended conditions of approval contained in the Responsible Authority Report.
8. confirm that we have sought and obtained clarification from the Town with respect to the manner in which particular conditional requirements are to be addressed. We are comfortable with the Town's responses in relation to these specific enquiries, which advice has established that the conditions in question are able to be addressed at the appropriate stage in the development process.
9. Finally, to advise JDAP that we support the recommendation as set out in the Responsible Authority Report and welcome any questions of the Panel.

**HAMILTON STREET, 27, (LOT 54) BASSENDEAN & OLD PERTH ROAD, 68 & 70, (LOTS 84 & 85), BASSENDEAN – AGED CARE FACILITY & COMMERCIAL**

**Form 1 – Responsible Authority Report**  
(Regulation 12)

<b>DAP Name:</b>	Metro Inner-North JDAP	
<b>Local Government Area:</b>	Town of Bassendean	
<b>Applicant:</b>	Ms Clare McLean, Peter Webb & Associates	
<b>Owner:</b>	Mr Geoff Taylor, T & T Management Services PTY LTD Mr Michael Cross, T & T Management Services PTY LTD	
<b>Value of Development:</b>	\$13 million <input checked="" type="checkbox"/> Mandatory (Regulation 5) <input type="checkbox"/> Opt In (Regulation 6)	
<b>Responsible Authority:</b>	Local Government	
<b>Authorising Officer:</b>	Donna Shaw, Manager Development & Place	
<b>LG Reference:</b>	DABC/BDVAPPS/2020-082	
<b>DAP File No:</b>	DAP/20/01833	
<b>Application Received Date:</b>	12 August 2020	
<b>Report Due Date:</b>	22 October 2020	
<b>Application Statutory Process Timeframe:</b>	90 Days	
<b>Attachment(s):</b>	1. Development Report 2. Development Plans 3. Schedule of Submissions 4. Consultation Plan 5. Referral Responses	
<b>Is the Responsible Authority Recommendation the same as the Officer recommendation?</b>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A	Complete Responsible Authority Recommendation section
	<input type="checkbox"/> No	Complete Responsible Authority and Officer Recommendation sections

**Responsible Authority Recommendation**

It is recommended that the Metro Inner-North JDAP resolves to:

- Accept** that the DAP Application reference DAP/20/01833 is appropriate for consideration as a “Aged Care & Commercial” land use and compatible with the objectives of the zoning table in accordance with Clause 3.2.3 of the Town of Bassendean Local Planning Scheme No. 10;

2. **Approve** DAP Application reference DAP/20/01833 and accompanying plans (attachment 2) in accordance with Clause 68 of Schedule 2 (Deemed Provisions) of the *Planning and Development (Local Planning Schemes) Regulations 2015*, and the provisions of the Town of Bassendean Local Planning Scheme No. 10, subject to the following conditions:

### **Conditions**

1. Pursuant to clause 26 of the Metropolitan Region Scheme, this approval is deemed to be an approval under clause 24(1) of the Metropolitan Region Scheme.
2. This decision constitutes planning approval only and is valid for a period of four years from the date of approval. If the subject development is not substantially commenced within the specified period, the approval shall lapse and be of no further effect.
3. Prior to the occupation of the development, Lot 54 Hamilton Street and Lots 84 and 85 Old Perth Road, Bassendean shall be amalgamated into a single lot on a Certificate of Title or the owner shall enter into a legal agreement with the Town of Bassendean prepared by the Town of Bassendean's Solicitors at the owner's cost requiring amalgamation to be completed within twelve months of the issue of a building permit, or the completion of the development, whichever occurs earlier.
4. Prior to applying for a Building Permit, a revised landscape plan being submitted and approved to the satisfaction of the Town of Bassendean. The following details are to be included:
  - (i) Details of the location and type of proposed trees, shrubs, ground cover and lawn areas to be planted;
  - (ii) Low water use;
  - (iii) Landscaping of the verge area adjacent to the development site, including the Hamilton Street road reserve, the central median island of Old Perth Road and the provision of substantial street trees (minimum of 2m high and 100-litre pot size at the time of planting); and
  - (iv) Details of the proposed watering system to ensure the establishment of species and their survival during the hot, dry summer months
5. Prior to the occupation of the development, the landscaping and irrigation of the development site and the adjoining verges is to be installed in accordance with the approved landscape plan and thereafter maintained to the satisfaction of the Town of Bassendean.
6. The existing street trees within the street verges adjacent to the development site being protected from damage with barricades during construction in accordance with Council Policy 1.8 – Street Trees.

7. Prior to or in conjunction with an application for a Building Permit, a lighting plan detailing lighting to communal streets and accessways, pathways, areas of communal open space and car parking areas is to be submitted and approved to the satisfaction of the Town of Bassendean.
8. Prior to the occupation of the development, the lighting plan is to be implemented and thereafter maintained for the duration of the development to the satisfaction of the Town of Bassendean.
9. Prior to the occupation of the development, vehicle parking, manoeuvring and circulation areas shall be designed, constructed, sealed, drained, line-marked and kerbed in accordance with:
  - (i) The approved plan(s);
  - (ii) Australian/New Zealand Standard AS/NZS 2890.1:2004, Parking facilities, Part 1: Off-street car parking;
  - (iii) Australian/New Zealand Standard AS/NZS 2890.6:2009, Parking facilities, Part 6: Off-street parking for people with disabilities;
  - (iv) Australian Standard AS 1428.1-2009, Design for access and mobility, Part 1: General Requirements for access-New building work (by providing a link to the main entrance of the development by a continuous accessible path of travel); and
  - (v) Town of Bassendean engineering requirements and design guidelines.

The car parking is to be maintained to the satisfaction of the Town of Bassendean for the duration of the development.

10. The redundant crossover on the Old Perth Road frontage of the site and the second redundant crossover at the Hamilton Street/Old Perth Road intersection shall each be removed, and the verge/footpath shall be reinstated to the satisfaction of the Town of Bassendean.

Where reinstatement of the verge/footpath occurs, pavers to be lifted and relayed to stretcher bond pattern to match existing footpath pattern.

11. Four (4) bicycle parking spaces must be designed in accordance with *AS2890.3—1993, Parking facilities, Part 3: Bicycle parking facilities* and must be approved by the Town of Bassendean prior to applying for a Building Permit and constructed prior to occupancy of the development. The bicycle parking spaces must be retained and maintained in good and safe condition for the duration of the development.
12. One (1) secure hot-water shower, change room and clothing lockers must be approved by the Town of Bassendean, prior to applying for a Building Permit and constructed prior to occupancy of the development. The shower, change rooms and lockers must be retained and maintained in good and safe condition for the duration of the development.

13. Prior to the commencement of the development, the applicant is to submit an Acid Sulphate Soils Self-Assessment Form, to the satisfaction of the Town of Bassendean on the advice of the Department of Water and Environmental Regulation.

If, as a result of the self-assessment, an Acid Sulphate Soils Management Plan is required, those documents must be submitted to and approved by the Town of Bassendean, on the advice of the Department of Water and Environmental Regulation. Where an Acid Sulphate Soils Management Plan is required, all works shall be carried out in accordance with the approved management plan.

14. The development being constructed in accordance with the Stormwater Drainage Management Plan prepared by BPA Engineering dated 22 July 2020 and thereafter implemented and maintained to the satisfaction of the Town of Bassendean.
15. Prior to or in conjunction with an application for a Building Permit, details being submitted of all proposed external fixtures and ventilation systems, including the location of plant equipment, vents and air conditioning units, satellite dishes and non-standard television aerials. All fixtures and ventilation systems must be adequately screened from view of the street to the satisfaction of the Town of Bassendean.
16. Prior to applying for a Building Permit, a revised Waste Management Plan is to be submitted, approved and thereafter implemented to the satisfaction of the Town of Bassendean. The Waste Management Plan shall address matters including, but not necessarily limited to the following:
  - (i) Measures to be implemented for the purpose of minimizing the delivery of waste to landfill, including the onsite separation of materials for recycling;
  - (ii) the location of bin storage areas and bin collection areas;
  - (iii) the number, volume and type of bins, and the type of waste to be placed in the bins;
  - (iv) management of the bins and the bin storage areas, including cleaning, rotation and moving bins to and from the bin collection areas;
  - (v) frequency of bin collections;
  - (vi) Details of intended method of collection (by private contractor) with a preference for the collection point to be at the rear of the premises; and
  - (vii) Details of how the Waste Management Plan will continue to be applied in perpetuity across the life of the development.

All works must be carried out in accordance with the Waste Management Plan and maintained at all times, for the duration of development.



17. Prior to applying for a Building Permit, a bin storage area must be designed with a size suitable to service the development and screened from view of the street to the satisfaction of the Town of Bassendean. The bin storage area must be:
- (i) surrounded by a 1.8-metre-high minimum wall with a self-closing gate;
  - (ii) provided with 75mm minimum thickness concrete floors grading to a 100mm industrial floor waste, with a hose cock to enable both bins and bin storage area to be washed out; and
  - (iii) provided with internal walls that are cement rendered (solid and impervious) to enable easy cleaning.

The bin storage area is to be constructed prior to the occupation of the development and must be retained and maintained in good condition for the duration of the development.

18. Visually impermeable roller shutters (external and internal), doors, grilles and security bars shall not be installed on any part of the frontage of the development facing Old Perth Road or Hamilton Street.
19. Prior to the issue of a building permit the applicant shall lodge a Construction Management Plan to the satisfaction of the Town of Bassendean that provides details of the following:
- (i) Estimated timeline and phasing of construction;
  - (ii) Dust control measures;
  - (iii) Noise control measures;
  - (iv) Access points for heavy vehicles during demolition and construction; and
  - (v) 24 hours contact details of staff available to deal with either an emergency situation or to respond to complaints.
20. The incorporation of public art into the proposed development or a cash-in-lieu payment of one percent of the construction cost of the proposed development in accordance with the Town's adopted Local Planning Policy No. 15 "Percent for Art Policy".
- Detailed arrangements and agreement with respect to art to be provided on site or alternatively payment of the required fee shall be made prior to or in conjunction with the application for a Building Permit.
21. The street number is to be prominently displayed at the front of the development.
22. External finishes according with those identified on the 'Schedule of Finishes' prepared by Montague Grant Architects and dated 13 July 2020 unless otherwise approved.
23. Ground floor glazing fronting Old Perth Road must have a minimum 80% clear glazing in order ensure that a commercial, interactive frontage is available to the development. The glazing must be thereafter be installed and maintained to the satisfaction of the Town of Bassendean for the duration of the development.

24. Entries and window frontages facing the street of ground floor tenancies must not be covered, closed or screened off (including by means of dark tinting, shutters, curtains, blinds, roller doors or similar), to ensure that a commercial, interactive frontage is available to the development from Old Perth Road, for the duration of the development.
25. Prior to applying for a Building Permit, the applicant shall prepare and have approved by the Town of Bassendean, a signage strategy detailing the design and location of all proposed signage.
26. Prior to commencement of development, electronic school speed zone signage on Hamilton Street is to be relocated to the satisfaction of the Town of Bassendean on the advice of Main Roads Western Australia, at the applicants expense.

**Advice Notes:**

1. The applicant is advised that this Development Approval does not constitute approval for any works within the road reserve abutting the subject land. The *Local Government Act 1995* requires prior approval to be obtained from the Town of Bassendean before any works carried out within the road reserve. It is the responsibility of the applicant to obtain the appropriate permits, with all applications to be made to the Town of Bassendean.
2. The submitted Building Permit application plans are to be consistent with the plans that form part of the relevant Development Approval, to the satisfaction of the Town of Bassendean.
3. The issue of a Building Permit is required prior to the commencement of works onsite.
4. The premises and equipment the subject of this development approval are required to comply with the Food Standards Code, *Food Safety Standards 3.2.3*.
5. An application shall be made to the Town's Health Services for environmental health matters. In this regard, please submit two (2) sets of scaled plans (minimum 1:100) and specifications detailing the design and fit out, to Health Services which include the following information:
  - (i) the structural finishes of walls, floors, ceilings, benches, shelves and other surfaces;
  - (ii) the position and type of all fixtures, fittings and equipment;
  - (iii) all floor wastes/bucket traps/cleaner's sinks, grease traps, etc;
  - (iv) waste storage and disposal areas;
  - (v) elevations of food handling and storage areas;
  - (vi) plans and specifications of the mechanical exhaust system including roof plan for discharge location.

An inspection of the premises will be required to be carried out by Health Services prior to occupation of the development.

6. All internal W.C.'s and en-suites shall be provided with mechanical exhaust ventilation and flumed to the external air in accordance with the *Sewerage (Lighting, Ventilation and Construction) Regulations 1971*.
7. The development and operation of the premises, including air conditioning units to bedrooms, shall comply with the *Environmental Protection (Noise) Regulations 1997*.
8. Mechanical exhaust ventilation system to undercroft carpark shall comply with AS 1668.2.
9. On completion of the installation of any Mechanical Services, the applicant shall provide a Mechanical Services Plan signed by a suitably qualified Mechanical Services Engineering or Air Conditioning Contractor. It shall certify that the mechanical ventilation of the development complies with and is installed in accordance with AS 1668.2, AS 3666 and the *Health (Air Handling and Water Systems) Regulations 1994*.
10. Grease trap requirements to be to the satisfaction of the Industrial Waste Section of the Water Corporation and installed to the satisfaction of the Town's Health Services.
11. Investigations and remediation are to be carried out in compliance with the *Contaminated Sites Act 2003* and current Department of Water and Environmental Regulation contaminated sites guidelines.
12. In regards to the "acid sulphate soils self-assessment form", this form can be downloaded from the Western Australian Planning Commission's website at: [www.dplh.wa.gov.au](http://www.dplh.wa.gov.au).

The "acid sulfate soils self-assessment form" makes reference to the Department of Environment and Conservation's "Identification and Investigation of Acid Sulfate Soils" guideline. This guideline can be obtained from the Department of Water and Environmental Regulation website at: [www.dwer.wa.gov.au](http://www.dwer.wa.gov.au).

13. With respect to construction of crossovers, please liaise with the Town's Asset Services. The applicant is advised that the Town of Bassendean Verge permit (2020/21 fee) is to be applied for and fee to be paid in this respect.
14. With respect to the Waste Management Plan, the applicant is encouraged to provide for three bins per tenancy in accordance with the recently introduced Food Organics Garden Organics system.

15. With respect to car parking, the applicant is advised that the following modifications are required to ensure compliance with AS2890.1:
- (i) The length of the accessible car bay and the adjoining visitor car bay shall each be increased to 5.4m minimum without compromising the prescribed aisle width behind these bays. The column to the rear of the visitor bay shall be positioned in accordance with Figure 5.2 of AS2890.1;
  - (ii) The width of the aisle between shared use car parking bays 19 and 20 shall be increased to a minimum of 6.1 metres, clear of the columns; and
  - (iii) The ramp to the car park being constructed in accordance with the provisions contained within CI 2.5.3 of AS2890.1 (Circulation roadway and ramp grades).
16. Further to the relocation of the electronic school speed zone signage, the applicant is to liaise with Main Roads Western Australia, providing detailed crossover plans, and gain Main Roads Western Australia approval prior to signage being modified. All costs associated with the works will be the cost of the developer and will be paid in full upfront, prior to commencing works. It is noted that a 6 week lead time is required for the relocation approval process. Relevant Main Roads Western Australia team can be contacted at [murray.cocking@mainroads.wa.gov.au](mailto:murray.cocking@mainroads.wa.gov.au)
17. With respect to the stormwater design:
- (i) The silt pit (prior to connection to Town infrastructure) shall be exposed at all times;
  - (ii) Maintenance shall be undertaken by the landowner in accordance with a hydraulic engineers specifications;
  - (iii) Existing drainage levels shall be confirmed on site to ensure appropriate connection to the Town's infrastructure; and
  - (iv) Payment of the Town's drainage fees shall be paid prior to applying for a Building Permit.
18. An application for a verge permit is required prior to any works commencing. Further information is available at:  
<https://www.bassendean.wa.gov.au/develop-build/building-demolition/engineering.aspx>

**Details: outline of development application**

Region Scheme	Metropolitan Region Scheme
Region Scheme - Zone/Reserve	Urban
Local Planning Scheme	Local Planning Scheme No. 10
Local Planning Scheme - Zone/Reserve	Town Centre
Structure Plan/Precinct Plan	N/A
Structure Plan/Precinct Plan - Land Use Designation	N/A
Use Class and permissibility:	Use Not Listed (Aged Care) & Commercial
Lot Size:	Lot 54 (No. 27) Hamilton Street: 3,101m <sup>2</sup> Lots 84 (No. 68) Old Perth Road: 922m <sup>2</sup> Lot 85 (No.70) Old Perth Road: 924m <sup>2</sup> Combined area: 4,947m <sup>2</sup>
Existing Land Use:	Lot 54 (No. 27) Hamilton Street: Nursing Home Lots 84 (68) & 85 (70) Old Perth Road: Vacant (former Motor Vehicle Sales)
State Heritage Register	No
Local Heritage	<input checked="" type="checkbox"/> N/A <input type="checkbox"/> Heritage List <input type="checkbox"/> Heritage Area
Design Review	<input type="checkbox"/> N/A <input checked="" type="checkbox"/> Local Design Review Panel <input type="checkbox"/> State Design Review Panel <input type="checkbox"/> Other
Bushfire Prone Area	No
Swan River Trust Area	No

**Proposal:**

The proposal includes:

- A four-storey mixed use development comprising the following:
  - Lower Ground level – three commercial tenancies (71m<sup>2</sup>, 87m<sup>2</sup> and 102m<sup>2</sup>) and car parking and service areas;
  - Upper Ground level– 39 aged care beds (a reduction from 44 currently) connecting to the existing aged care facility. This will require the removal of 11 existing car parking bays, to be accommodated in the ground level car park.
  - First Floor – 27 aged care beds in addition to lounge, kitchen, amenity and staff and reception areas;
  - Second Floor – 37 aged care beds;
  - Third Floor – 33 aged care beds in addition to lounge, therapy and dining and servery areas.
- A total of 136 beds ((including 39 existing)) form the aged care component of the development and a total of 260m<sup>2</sup> of commercial space is provided.
- A total of 49 car parking bays, including one bay for the exclusive use of disabilities, four motorcycle bays, bicycle parking and end of trip facilities.

- The existing Nursing Home is intended to be retained, modified, extended and incorporated into the proposed development.

A copy of the development report and development plans are included in Attachments 1 and 2 respectively.

Proposed Land Use	Use Not Listed (Aged Care) & Commercial
Proposed Net Lettable Area	260m <sup>2</sup> commercial space
Proposed No. Storeys	4
Proposed No. Dwellings	N/A

### **Background:**

The history of use/approvals for the site (being three separate lots) is as follows:

- Approx. 1930 - Service Station;
- Approx. 1930-1960 – Motor Vehicle Sales;
- 1971 – ‘C’ class hospital (39 beds);
- 1975 – Application for minor additions and alterations;
- 1994 – Outbuilding;
- 2002 – Additions and Alterations to Nursing Home (increase to 44 beds);
- 2005 – Patio; and
- 2016 – Solar Panels.

At its 17 May 2018 meeting, the Metro Central JDAP approved an application (DAP/18/01379) for a Mixed Use development comprising additions and alterations to a Nursing Home, Shops and 18 Multiple Dwellings. The proposed development is consistent with this approval, with the exception of removing the 18 multiple dwellings component of the development (reducing the height of the building from five to four storeys) and a slight increase in the commercial floorspace. The proposal has been amended to respond to current market conditions.

In addition to the JDAP approval, an application to amalgamate the subject sites (WAPC Ref 156270) was approved on 1 May 2018, and therefore remains valid until 1 May 2023 as a result of the amendments to the *Planning and Development Act 2005* in response to the COVID-19 pandemic. The amalgamation has yet to be finalised.

### **Legislation and Policy:**

#### Legislation

- *Planning and Development Act 2005*
- *Planning and Development (Local Planning Schemes) Regulations 2015*
- Metropolitan Region Scheme
- Local Planning Scheme No. 10 (LPS 10)
- *Environmental Protection (Noise) Regulations 1997*

#### State Government Policies

- State Planning Policy 4.2 - Activity Centres for Perth and Peel (SPP 4.2)
- State Planning Policy 7.0 – Design of the Built Environment (SPP 7.0)

## Structure Plans/Activity Centre Plans

N/A

## Local Policies

- Local Planning Policy 1 – Bassendean Town Centre Strategy and Guidelines
- Local Planning Policy No. 8 – Parking Specifications
- Local Planning Policy No. 9 – Design Review Panel
- Local Planning Policy No. 14 – Stormwater Local Planning Policy No. 15 – Percent for Art Policy

## **Consultation:**

### Public Consultation

The proposal was required to be advertised in accordance with LPS 10. Consultation was undertaken for a period of 21 days, being from 18 August 2020 to 8 September 2020. Letters were sent to the owners and occupiers of 134 properties within the consultation area.

In response, six submissions were received, five in support of the proposal and one providing comment.

The Schedule of Submissions is contained as Attachment 3.

A Consultation Plan identifying the consultation area and the origin of each submission is contained as Attachment 4.

### Design Review Panel Advice

In June 2020, Council adopted LPP 9 which establishes the shared use of the City of Bayswater's Design Review Panel, the threshold for applications and the terms of reference. LPP 9 requires all JDAP applications to be considered by the Design Review Panel (DRP). Notwithstanding, review by the DRP was not considered warranted in this instance for the following reasons:

- The proposed development is generally consistent with the May 2018 JDAP approval, with the exception of removing the 18 multiple dwellings component of the development (reducing the height of the building from five to four storeys) and a slight increase in the commercial floorspace;
- Hames Sharley (Architecture and Urban Design Consultancy) undertook an architectural review of the previously approved application; and
- The application had been substantially prepared prior to the adoption of LPP 9, meaning that there was little opportunity for the applicant to have the concept plans reviewed by the DRP.

### Other Advice

The proposal was referred to Main Roads Western Australia (MRWA) given the proposed crossover on Hamilton Street conflicts with an existing 40kph school zone sign. MRWA requested a condition requiring the signage be relocated prior to

commencement of development, and relevant advice in this respect. A condition and advice note have been recommended accordingly.

The proposal was also referred to the Department of Water and Environmental Regulation (DWER) on the basis that Lots 84-85 Old Perth Road were reported as suspected contaminated sites under the *Contaminated Sites Act 2003*, due to the former use of the sites as a service station/mechanical repair station.

DWER has recommended conditions relating to undertaking an acid sulfate soils assessment and a soil and groundwater contamination investigation, which have been included. A copy of DWER's submission is contained as Attachment 5.

### **Planning Assessment:**

#### Town of Bassendean Local Planning Scheme No. 10 (LPS 10)

##### *Land Use Permissibility*

The proposed commercial component of the development is considered to be a 'Shop' land use, which is a 'P' (i.e. permitted) use within the Town Centre zone.

The Aged Care component is a Use Not Listed under LPS 10. In this respect, clause 3.4.2 of LPS 10 states that:

*"If a person proposes to carry out on land any use that is not specifically mentioned in the Zoning Table and cannot reasonably be determined as falling within the type, class or genus of activity of any other use category the local government may:*

- (a) Determine that the use is consistent with the objectives of the particular zone and is therefore permitted;*
- (b) Determine that the use may be consistent with the objectives of the particular zone and thereafter follow the advertising procedures of clause 67 of the deemed provisions in considering an application for development approval; or*
- (c) Determine that the use is not consistent with the objectives of the particular zone and is therefore not permitted."*

The proposed use may be consistent with the objectives of the Town Centre zone. It is noted that the JDAP has previously approved the subject suite of uses on the site.

##### *Objectives of the Zone*

Clause 3.2.3 of LPS 10 provide the following objectives of the Town Centre Zone:

- "(a) To promote, facilitate and strengthen the town centre zone as the principal focus of the district in terms of shopping, professional, administrative, cultural, entertainment and other business activities;*
- (b) To recognise the unique and specific function of each precinct within the town centre in terms of:*



- (i) *Traditional main street pedestrian based commercial retail, west of Wilson Street;*
- (ii) *Civic, drive-by commercial and town centre living uses between Wilson and Whitfield Street; and*
- (iii) *Car based retail in the Bassendean Village Shopping Centre;*
- (c) *To accommodate a diversity of commercial, cultural and residential facilities;*
- (d) *To encourage the integration of existing and proposed facilities within the zone so as to promote ease of pedestrian movement and the sharing of infrastructure, as well as to retain the opportunity for any future expansion of the area;*
- (e) *To achieve safety and efficiency in traffic circulation;*
- (f) *To ensure that buildings, ancillary structures and advertising are of high quality and achieve an architectural theme contributing to the uniqueness of the townscape;*
- (g) *To provide sheltered places for pedestrians and shade to car parking areas;*
- (h) *To preclude the storage of bulky and unsightly goods from public view;*
- (i) *To provide landscaping appropriate to the scale of development; and*
- (j) *To ensure that development conforms with the Local Planning Strategy and the principles of any Local Planning Policy adopted by the Council."*

The proposed development is consistent with the objectives of the Town Centre zone.

#### *Development Standards*

##### *Bicycle Parking and End-of-Trip Facilities*

Clause 4.7.6 of LPS 10 relates to Bicycle Facilities and provides that *"the local government may require the provision of facilities that provide for and encourage cycling as part of any private development. Such facilities shall provide for the storage and parking of bicycles and change room/showers for cyclists"*.

In response, it is recommended that a condition be imposed requiring the provision of four bicycle parking bays and one shower and change room facilities, to cater for the commercial tenancies.

## Car Parking

The following table details LPS 10 car parking requirements.

Use Class	LPS 10 Car Parking Standards	LPS 10 Car Parking Requirements	Car Parking Bays Provided
Use Not Listed (Aged Care)	1 bay per 5 beds (Nursing Home requirement)	136 beds = 27 (27.2)	
Shop	8 per 100m <sup>2</sup> gross floor area	71m <sup>2</sup> = 6 (5.68)	
Shop	8 per 100m <sup>2</sup> gross floor area	87m <sup>2</sup> = 7 (6.96)	
Shop	8 per 100m <sup>2</sup> gross floor area	102m <sup>2</sup> = 8 (8.16)	
<b>Total</b>		<b>48</b>	<b>49</b>

The proposed car parking is compliant with LPS 10 requirements. A condition requiring compliance with the relevant Australian Standards is recommended to also ensure compliance with Local Planning Policy No. 8 – Parking Specifications.

### Local Planning Policy No. 1 – Town Centre Strategy and Guidelines (LPP 1)

The purpose of LPP 1 is to provide a vision and objectives for development within the Bassendean Town Centre. The proposed development complies with the requirements of LPP 1 with the exception of the following:

Requirement	Comment
Crossovers should be limited to one crossover (3 – 6m wide) per development site. Crossovers should match footpath colour.	Whilst two crossovers are provided to Hamilton Street, it is acknowledged that the existing and proposed sites are yet to be amalgamated into one site. The separate crossovers also distinguish access between the existing aged care facility and car parking for the commercial tenancies, and are therefore supported.
A report on construction timing /staging issues including impact on adjacent public realm, temporary services, access for delivery trucks, cranes etc., fencing and other construction phase issues.	A condition requiring a construction management plan has been recommended to address this requirement.
A town centre public realm contribution of 2% of development cost will be payable to Council as a condition of development approval. This contribution will be used to enhance the public realm in the vicinity of the development site and will include public art, street furniture, planting, paving and amenities such as bicycle racks, bins, shade structures, signage. Etc. Timing of these enhancements will be agreed between Council and the developer to be completed shortly after construction and to suit council works programmes.	Whilst a condition requiring this contribution was originally imposed on the previous approval, it was subsequently removed from that approval via a later Form 2 decision by the JDAP. In any event, it is not appropriate to administer a cost sharing arrangement via a Local Planning Policy, with the State Planning Policy 3.6 clearly setting out the requisite head of power for such contributions.

Various landscaping requirements, including retention of existing trees and water wise plantings.	Conditions relating to landscaping and the protection of existing street trees have been recommended to address these requirements.
Paving materials and details shall match proposed public realm finishes or be of a quality associated with high traffic town centre and civic precincts and approved by council.	It has been recommended that a condition is imposed requiring new and replacement pavers (where crossovers are to be removed) to be replaced in the specific patterns of the existing streetscape.
No façade shall appear as a “back “and blank walls should be avoided. Exposed plumbing or other services are not acceptable on any facades.	A portion of wall facing Old Perth Road is associated with screening the fire pump and transformer rooms. The applicant has proposed the use of public art on this portion of wall so it does not appear blank. Whilst this approach is satisfactory to address this requirement, further details as to the proposed public art need to be provided to ensure the public art is appropriate. A condition relating to the provision of public art has been included which will capture this requirement.
Generous ground floor to floor heights to match existing or a minimum of 4.0 metres.	A minimum floor to ceiling height of 4.0m has not been achieved. Given the Building Code of Australia only requires commercial buildings to have a minimum clearance of 2.7m, the reduced floor to ceiling height is considered acceptable as the tenancies can still be used for commercial activities. The overall height of the building and the expanse of glazing at ground floor level fronting Old Perth Road is considered to suitably address the urban design requirements of ensuring an open and interactive frontage is achieved.
Glazing of facades is encouraged to provide visibility between inside and outside the building. Windows at ground level on active frontages shall be minimum 2.4m high. External sun shading is encouraged appropriate to orientation.	Minimum 2.4m high windows has not been achieved on all windows fronting Old Perth Road. This variation is considered acceptable given the extent of glazing provided, in conjunction with requirements to ensure glazing is not obscured as detailed below.
Glazed shopfronts are required in retail and commercial buildings. Old Perth Road facades should have a minimum of 80% clear glazed area at ground level.	It is recommended that conditions be imposed requiring minimum clear glazing and ensuring glazing is not obstructed.
All frontages on Old Perth Road should be well illuminated.	A condition requiring a light plan has been recommended to address this requirement.

Various requirements relating to signage, including a minimum clearance above footpath level of 2.7m.	Details of the locations of signage have not been included. A condition requiring the preparation of a signage strategy is therefore recommended.
All plant and equipment must be concealed from public view using screening or other means that is an integral part of the building design. Surface mounted services piping and conduits will not be permitted.	A condition requiring the screening of plant and equipment has been recommended. An advice note has also been recommended, detailing that the location of air conditioning units etc. are required to comply with the requirements of the <i>Environmental Health (Noise) Regulations 1997</i> .

#### Local Planning Policy No. 14 – Stormwater (LPP 14)

A Stormwater Drainage Management Plan was prepared by BPA Engineering to support the previously approved development. This plan has been provided in support of the proposed development, without modification.

#### Local Planning Policy No. 15 – Percent for Art Policy (LPP 15)

LPP 15 requires the provision of public art, wither in the form of physical art or a cash contribution, each to a value equivalent to 1% of the construction cost of the development. A condition has been recommended in this respect.

#### Waste Management

The Waste Management Plan prepared by *Aurora Environmental* for the previously approved development has been modified to reflect the revised modified proposal. The Town is satisfied with the waste management arrangements for the development, and has included an advice note recommending the applicant consider the implementation of the recently introduced Food Organics Garden Organics system.

#### Traffic and Access

A Traffic Impact Statement was prepared by Transcore in support of the previous application, which concluded that the traffic generated by the proposal was within the capacity of the road network to accommodate. Given the proposed development removes the multiple dwelling component, which generated the bulk of traffic movements from the site, the Town is satisfied that the proposed development will not have a significant impact on the surrounding road network.

In regards to access, as vehicle access is restricted to Hamilton Street in accordance with LPP 1, and existing crossover will be required to be removed and the verge re-instated.

Access to the lower ground floor car parking area includes a ramp with an approximately 1.0m level difference. The applicant has provided information demonstrating that the ramp has been designed with the required gradient and transitions, in accordance with the relevant Australian Standards. An application will also be required for the new crossover on Hamilton Street. Conditions and advice notes have been recommended to address these matters.

**Alternatives:**

N/A

**Conclusion:**

The proposed development is consistent with LPS 10 and relevant local planning policies, with the exception of those requirements outlined above that are acceptable to be varied or can be adequately addressed via conditions. The Town is satisfied that the proposed development is consistent with the objectives of the Town Centre zone, and is it therefore recommended that the application be approved subject to conditions.

# PETER D WEBB AND ASSOCIATES



CONSULTANTS IN TOWN PLANNING AND URBAN DESIGN

31 July 2020

Our Ref: C2062-13

Chief Executive Officer  
Town of Bassendean  
PO Box 87  
BASSENDEAN WA 6934

**ATTENTION: Planning Department**

Dear Sir

**Re: Application for Planning Approval  
Lot 54 Hamilton Street and Lots 84 and 85 Old Perth Road, Bassendean**

This is to advise that we act on behalf of *T & T Management Services Pty Ltd*, which Company owns Lot 54 (No. 27) Hamilton Street and Lots 84-85 (Nos. 68-70) Old Perth Road, Bassendean in this matter and lodge this Application for Planning Approval on its behalf.

This Application seeks approval for the proposed extension of the existing Aegis Bassendean Aged Care Facility located at Lot 54 (No. 27) Hamilton Street, Bassendean. The proposed extension is designed to extend over Lots 84 and 85 Old Perth Road, Bassendean and connect to the existing Aged Care Facility. The development presents to Old Perth Road as a four (4) storey building and includes three (3) shop tenancies at street level.

This Application is required to be determined by the Metro Inner-North Joint Development Assessment Panel (JDAP) as a mandatory Application, as the estimated cost of construction is **\$13 million**.

Accordingly, please find attached our Planning Application including the architectural drawings and 3D perspectives; the **Town of Bassendean Planning Approval Form** and **Development Assessment Panel (DAP) Form** signed by the Directors of *T & T Management Services Pty Ltd*; and our client's cheque written to the 'Town of Bassendean' for the combined Application lodgement fee of \$32,153.00, which includes the Town's fee of \$22,473.00 and the JDAP fee of \$9,680.00.

We trust that the attached documentation is sufficient for the Town's acceptance of this Application. However, should staff have any queries, the writer is available on 0414 384 972.

Yours faithfully



**CLARE McLEAN**

Senior Planning Consultant

BankWest   
Bank of Western Australia Ltd.  
\*\*BARRACK ST TO PERTH\*\*

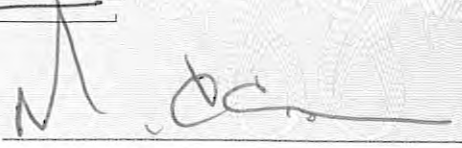
Date 30/7/2020

Pay TOWN OF BASSENDEAN ~~or Bearer~~

The Sum of THIRTY TWO THOUSAND ONE HUNDRED  
AND FIFTY THREE DOLLARS ONLY

\$ 32153.00

AEGIS HEALTH CARE GROUP PTY LTD AS T/FOR  
THE AEGIS AGED CARE TRUST T/AS  
BASSENDEAN NURSING HOME  
A.C.N 009 127 968



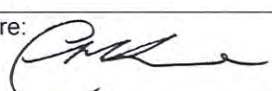
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**COPY OF CHEQUE ONLY.  
CHEQUE TO BE POSTED TO TOWN OF BASSENDEAN ON 31 JULY 2020,  
TOGETHER WITH ORIGINAL SIGNED FORMS AND A COPY OF THE  
COVERING LETTER.**

## TOWN of BASSENDEAN

### Application for Development Approval

OWNER DETAILS – Attach a separate sheet where there are multiple owners	Name(s): <b>T &amp; T MANAGEMENT SERVICES PTY LTD</b>	
	ABN (If Applicable): <b>28198021024</b>	
	Address: <b>90 GOODWOOD PARADE, BURSWOOD</b>	
		Post Code: <b>6100</b>
	Phone (Work): <b>6254 8200</b>	Phone (Home): <b>-</b>
	Phone (Mobile): <b>-</b>	Fax: <b>-</b>
	Email: <b>michael.cross@aegiscare.com.au</b>	
	Contact person for correspondence: <b>MR MICHAEL CROSS</b>	
	Signature:  (MR MICHAEL CROSS, DIRECTOR)	Date: <b>29/7/20</b>
	Signature:  (MR GEOFF TAYLOR, DIRECTOR)	Date: <b>29.7.2020</b>
Signature: 	Date:	
The signature of ALL owner(s) is required on all applications. This application will not be accepted without ALL signatures. For the purposes of signing this application, an owner includes the persons referred to in the Planning and Development (Local Planning Schemes) Regulations 2015 Schedule 2 clause 62(2).		

APPLICANT DETAILS – if different from owner	Name(s): <b>PETER WEBB &amp; ASSOCIATES</b>	
	Address: <b>PO BOX 920, SUBIACO</b>	
		Post Code: <b>6904</b>
	Phone (Work): <b>-</b>	Phone (Home): <b>-</b>
	Phone (Mobile): <b>0414 384 972</b>	Fax:
	Email: <b>clare@webbplan.com.au</b>	
	Contact person for correspondence: <b>MS CLARE McLEAN, SENIOR PLANNING CONSULTANT</b>	
	The information and plans provided with this application may be made available by the local government for public viewing in connection with the application. <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Please note that if 'No' is selected the application will be <b>deemed incomplete</b> and will not be accepted.		
Signature: 	Date: <b>29.7.2020</b>	



PROPERTY DETAILS – details must match the Certificate of Title	Lot No.: <b>54, 84, 85</b>	House/Street No.: <b>27, 68, 70</b>	Location No.: <b>-</b>
	Diagram/Plan No.: <b>DP 29092 (Lot 54)</b> <b>&amp; P1786 (Lots 84 &amp; 85)</b>	Certificate of Title Vol. No.: <b>2514, 1631, 1496</b>	Folio: <b>597, 156, 999</b>
	Title encumbrances (eg, easements, restrictive covenants): <b>Refer to attached Certificates of Title</b>		
	Street Name: <b>HAMILTON STREET (Lot 54)</b> <b>&amp; OLD PERTH ROAD (Lots 84 &amp; 85)</b>	Suburb: <b>BASSENDEN</b>	
	Nearest street intersection:		

PROPOSED DEVELOPMENT	Nature of Development: (Specify Below)	<input type="checkbox"/> Works (New construction works with no change of land use) <input type="checkbox"/> Use (Change of use of land with no construction works) <input checked="" type="checkbox"/> Works and Use
	Description of proposed works and/or land use:  <b>PROPOSED EXTENSION OF THE EXISTING AEGIS BASSENDEAN AGED CARE FACILITY ON LOT 54 HAMILTON STREET OVER LOTS 84 AND 85 OLD PERTH ROAD, BASSENDEAN. THE APPLICATION SEEKS APPROVAL FOR THE CONSTRUCTION OF A FOUR (4) STOREY BUILDING FOR USE AS PART OF THE AGED CARE FACILITY (DEEMED 'USE NOT LISTED') TOGETHER WITH THREE (3) COMMERCIAL TENANICES AT STREET LEVEL, WHICH ARE PROPOSED UNDER THE LAND USE CLASSIFICATION OF 'SHOP'. (THE THREE (3) LANDHOLDINGS ARE THE SUBJECT OF A CURRENT WAPC AMALGAMATION APPROVAL 156270.)</b>	
	Is an exemption from development claimed for part of the development?  <div style="text-align: right;"> <input type="checkbox"/> Yes  <input checked="" type="checkbox"/> No         </div>	
	If yes, is the exemption for:  <div style="text-align: right;"> <input type="checkbox"/> Works  <input type="checkbox"/> Use         </div>	
	Description of the exemption claimed (if relevant):  	
	Nature of any existing buildings and/or land use: <b>LOT 54 HAMILTON STREET: IS DEVELOPED AND OPERATING AS THE AEGIS BASSENDEAN AGED CARE FACILITY.</b> <b>LOTS 84 &amp; 85 OLD PERTH ROAD: UNOCCUPIED, DILAPIDATED SINGLE STOREY COMMERCIAL BUILDINGS ASSOCIATED WITH FORMER USE AS A CAR SALES FACILITY.</b>	
Approximate cost of proposed development (excl. GST):		<b>\$ 13 MILLION</b>
Estimated time of completion:		<b>12 MONTHS FROM RECEIPT OF ALL APPROVALS</b>

OFFICE USE ONLY	
Acceptance Officer's Initials:	Date Received:
Local Government Reference No.:	



## DAP FORM 1

### Notice of Development Application to be Determined by a Development Assessment Panel

Planning and Development Act 2005

Planning and Development (Development Assessment Panel) Regulations 2011 – regulations 7, 10 and 21

#### Application Details

To	Name of local government and/or Western Australian Planning Commission <b>TOWN OF BASSENDAN</b>	
Planning Scheme(s)	Name of planning scheme(s) that applies to the prescribed land <b>LOCAL PLANNING SCHEME No. 10</b>	
Land	Lot number, street name, town/suburb <b>LOT 54 HAMILTON STREET, LOTS 84 AND 85 OLD PERTH ROAD, BASSENDEAN</b>	
Certificate of Title (provide copy)	Volume Number <b>2514, 1631, 1496</b>	Folio <b>597, 156, 999</b>
	Location Number <b>-</b>	Plan / Diagram Number <b>DP 29092 (Lot 54) &amp; P1786 (Lots 84 &amp; 85)</b>
Details of development application made to responsible authority	Summary of Proposal <small>PROPOSED EXTENSION OF THE EXISTING AEGIS BASSENDEAN AGED CARE FACILITY ON LOT 54 HAMILTON STREET OVER LOTS 84 AND 85 OLD PERTH ROAD, BASSENDEAN. THE APPLICATION SEEKS APPROVAL FOR THE CONSTRUCTION OF A FOUR (4) STOREY BUILDING FOR USE AS PART OF THE AGED CARE FACILITY (DEEMED 'USE NOT LISTED') TOGETHER WITH THREE (3) COMMERCIAL TENANCES AT STREET LEVEL, WHICH ARE PROPOSED UNDER THE LAND USE CLASSIFICATION OF 'SHOP' (THE THREE (3) LANDHOLDINGS ARE THE SUBJECT OF A CURRENT WAPC AMALGAMATION APPROVAL 156270.)</small>	
Development Use	Residential / Commercial / Industrial / Rural / Mixed Use / Other <b>USE NOT LISTED (AGED CARE FACILITY) AND COMMERCIAL</b>	
Estimated cost of development (GST Exc)	<b>\$ 13 MILLION</b>	

#### Part A – Acknowledgement by Applicant and Landowner

Mandatory Application	<input checked="" type="checkbox"/> I give notice that I understand that this is a mandatory Development Assessment Panel application (regulation 5)
Optional Application	<input type="checkbox"/> I give notice that I have elected to have the development application that accompanies this form determined by a Development Assessment Panel (regulation 6)
Delegated Application	<input type="checkbox"/> I give notice that I understand that this is an application of a class delegated to a Development Assessment Panel for determination (regulation 9)

#### Applicant Details (to be completed and signed by applicant)

- By completing this notice, I declare that all the information provided in this application is true and correct.
- I understand that the information provided in this notice, and attached forming part of the development application will be made available to the public on the Development Assessment Panel and local government websites.

Name	<b>MS CLARE McLEAN, SENIOR PLANNING CONSULTANT</b>	
Company	<b>PETER WEBB &amp; ASSOCIATES</b>	
Address	Street Number/PO Box number, street name, suburb, state, postcode <b>PO BOX 920, SUBIACO WA 6904</b>	
Contact Details	Email <b>clare@webbplan.com.au</b>	Phone <b>0414 384 972</b>
Signature		Date <b>29.7.2020</b>



<b>Landowner Details (to be completed and signed if landowner is different from applicant)</b> <ul style="list-style-type: none"> <li>By completing this notice, consent is provided to submitting this application.</li> <li>If there are more than two landowners, please provide all relevant information on a separate page.</li> <li>Signatures must be provided by all registered proprietors or by an authorised agent as shown on the Certificate of Title.</li> <li>Alternatively, a letter of consent, which is signed by all registered proprietors or by the authorised agent, can be provided.</li> <li>Companies, apart from sole directors, are required to provide signatories for two directors, a director and the company seal or a director and a company secretary.</li> </ul>		
Company (if applicable)	T & T MANAGEMENT SERVICES PTY LTD	
Contact Details	Email michael.cross@aegiscare.com.au	Phone 6254 8200
Address	Street Number/PO Box number, street name, suburb, state, postcode 90 GOODWOOD PARADE, BURSWOOD	
Name/s	MR MICHAEL CROSS	MR GEOFF TAYLOR
Title/s	Landowner/Sole Director/Director (2 signatures required) DIRECTOR	Additional Landowner/ Director/Secretary (if applicable) DIRECTOR
Signature/s		
Date	29/7/20	29. 7. 2020

#### Part B – Acknowledgement by Local Government

Responsible Authority	<input type="checkbox"/> Local Government (LG) <input type="checkbox"/> * Western Australian Planning Commission (WAPC) <input type="checkbox"/> * Dual – Local Government and Western Australian Planning Commission <input type="checkbox"/> Building Management and Works (Department of Finance) – <i>Public Primary School Applications</i>	
* WAPC/DUAL reporting details	If WAPC or DUAL is selected, please provide details of relevant provision (or within covering letter)	
Fees for applications (DAP Regulations - Schedule 1)	\$ Amount that has been paid by the applicant  \$ Amount to be paid by local government (delegated applications only - regulation 22)	
Statutory Timeframe (regulation 12)	<input type="checkbox"/> 60 days (advertising not required) <input type="checkbox"/> 90 days (advertising required or other scheme provision)	
LG Reference Number		
Name of planning officer (Report Writer)		
Position/Title		
Contact Details	Email	Phone
Planning Officer's Signature		Date

Please refer to the Guidance Note: Lodging a DAP Application for further information.

# APPLICATION FOR PLANNING APPROVAL

## EXTENSION OF EXISTING AEGIS AGED CARE FACILITY AND GROUND FLOOR COMMERCIAL TENANCIES

### Revised Development

Lot 54 (No. 27) Hamilton Street  
*and*

Lots 84-85 (Nos.68-70) Old Perth Road, Bassendean

Town of Bassendean/Metro Inner-North JDAP

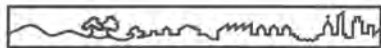


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# **APPLICATION FOR PLANNING APPROVAL**

## **PROPOSED EXTENSION OF EXISTING AEGIS AGED CARE FACILITY AND GROUND FLOOR COMMERCIAL TENANCIES**

Prepared by:



**PETER WEBB & ASSOCIATES**  
PO Box 920  
SUBIACO WA 6904

T: (08) 9388 7111  
M: 0414 384 972  
E: [clare@webbplan.com.au](mailto:clare@webbplan.com.au)

Consultant: Ms Clare McLean  
Job Number: C2062appln4  
Version/Date: V2 FINAL/24 July 2020

Prepared for:

**T & T MANAGEMENT SERVICES PTY LTD**  
trading as **AEGIS AGED CARE GROUP**  
PO Box 78  
BURSWOOD WA 6100

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## EXECUTIVE SUMMARY

This Application seeks approval for the proposed extension of the existing Aegis Bassendean Aged Care Facility located at Lot 54 (No. 27) Hamilton Street, Bassendean. The proposed extension is designed to extend over Lots 84 and 85 Old Perth Road, Bassendean and connect to the existing Aged Care Facility.

These three landholdings are the subject of a current WAPC Amalgamation Approval, which conditional requirements are to be finalised as part of the site works for this development.

This site is the subject of a previous JDAP Approval (Ref: **DAP/18/1379**). This Approval involved the construction of a more intensive development on the site including the planned extension of the Aged Care Facility, together with 18 Over 55 Years Apartments and three (3) shop tenancies. The development has now been revised to remove the apartment component from the design and increase the number of aged care beds proposed for this Facility. The removal of the apartment element of the design has resulted in a reduction in the overall height of the building by one (1) floor level. The development continues to present as the high-quality architectural form in accordance with the previous approval and retains compliance with the relevant State and Local Planning Framework.

The land and project details are described in the following Summary Table (**Table 1**).

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SUMMARY TABLE	
<i>Landowner:</i>	T & T Management Services Pty Ltd
<i>Property Description:</i>	Lot 54 (No. 27) Hamilton Street and Lots 84-85 (Nos. 68-70) Old Perth Road, Bassendean
<i>Area:</i>	Lot 54: 3101m <sup>2</sup> Lot 84: 922m <sup>2</sup> Lot 85: 924m <sup>2</sup> amalgamated land area: 4947m <sup>2</sup>
<i>Certificate of Title:</i>	Lot 54: Volume 2514, Folio 597 Lot 84: Volume 1631, Folio 156 Lot 85: Volume 1496, Folio 999
<i>Local Authority:</i>	Town of Bassendean
<i>Local Planning Scheme:</i>	Local Planning Scheme No. 10
<i>Zoning:</i>	Town Centre
<i>Proposal:</i>	<p>This Application seeks approval for the proposed expansion of the existing Aged Care Facility on Lot 54 Hamilton Street over Lots 84 and 85 Old Perth Road, Bassendean. The development form presents to Old Perth Road as a four-storey building and includes three (3) shop tenancies at street level.</p> <p>The approval of this development will provide a total of 136 beds to meet the growing need for care for the frail aged in our community.</p>

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*Vehicle Access:*

The existing and proposed vehicle access for the development is to be retained as approved by JDAP for the previous development. This approved vehicle access arrangement is detailed below.

*Existing crossover to be retained:*

Lot 54: crossover on Hamilton Street

*Existing crossovers to be removed:*

Lot 84: crossover at intersection of Hamilton Street/Old Perth Road

Lot 85: crossover at eastern corner of frontage to Old Perth Road

*New crossover as previously approved:*

A new crossover to provide access to the proposed on-site car parking facility is proposed and located on Hamilton Street.

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## 1.0 INTRODUCTION

*Peter Webb and Associates (PWA)* continues to act in association with *Montague Grant Architects (Project Architect)* for *T & T Management Services Pty Ltd*, which Company owns Lot 54 (No. 27) Hamilton Street and Lots 84-85 (Nos. 68-70) Old Perth Road, Bassendean in this matter and lodge this Application on its behalf.

*T & T Management Services Pty Ltd* is a company of the Aegis Aged Care Group (**Aegis**) which is the largest aged care provider in Western Australia.

Aegis owns and operates the existing *Aegis Bassendean Aged Care Facility* at Lot 54 Hamilton Street.

In order to meet the high demand for quality aged care accommodation in the Bassendean area, PWA assisted Aegis in gaining a JDAP Approval on 17 May 2018 for the expansion of this Aged Care Facility over the adjoining landholdings of Lots 84 and 85 Old Perth Road (**JDAP Ref: DAP/18/01379**). The approved development included the construction of a five (5) storey building, together with an onsite, ground level car park. The range of uses approved for the development included the extension of the Aged Care Facility to include an additional 103 beds for the frail aged; 18 multiple dwelling residential apartments (designed for Over 55 Years occupants); and three (3) shop tenancies.

In addition to this JDAP approval for the development on the site, the subject landholdings are also the subject of a current WAPC Amalgamation Approval (**WAPC Ref: 156270**) granted on 1 May 2018. The amalgamation of the subject landholdings is required to be undertaken as part of the intended development. It is relevant to note that the WAPC Approval is subject to Section 288 (2) (b), Part 18 – Extension of time for endorsement of diagram or plan of survey due to COVID-19 pandemic of the *Planning and Development Act 2005*, which grants an additional two (2) years to the approval timeframe. The current WAPC Approval therefore now remains valid until 1 May 2023. The final remaining condition to be finalised relates to remediation of sections of the land which have been identified as possibly being contaminated. The extent of any remediation of the site is to be assessed and actioned at the same time as the site works are undertaken for the development.

Aegis has reviewed the approved development and in light of the current market conditions has reached a decision to remove the Over 55 Years apartment component of the development, as this use component of the development has proven to be an unviable option.

The Project Architect has now revised the drawings to remove the apartments from the design.

The design of the development retains the earlier approved high-quality architectural form, which design was supported by the Town and approved by JDAP following a comprehensive design review and assessment process.

The main revisions to the development include a reduction in the overall height of the building from five (5) storeys to four (4) storeys; together with the necessary internal modifications required to

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support the revision of the use of the highest floor of the building as additional bedrooms associated with the Aged Care Facility, in lieu of the multiple dwelling apartments.

This Application is required to be determined by the Metro Inner-North Joint Development Assessment Panel (JDAP) as a mandatory Application, as the estimated cost of construction is **\$13 million**.

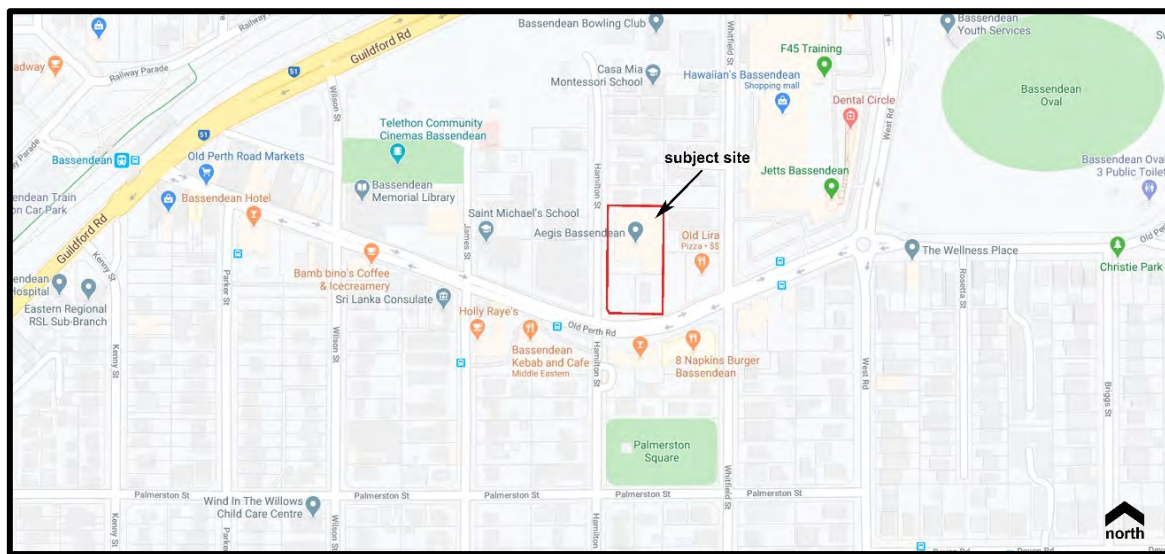
Accordingly, please find attached the completed **Town of Bassendean Planning Approval Form** and **Development Assessment Panel (DAP) Form** signed by the Directors of *T & T Management Services Pty Ltd*.

The following report details the relevant background, design and planning justification in support of the proposal.

## 2.0 LOCATION AND SITE PARTICULARS

The landholdings the subject of this Application include Lot 54 (No. 27) Hamilton Street, Bassendean; and Lots 84 and 85 (Nos. 68 and 70) Old Perth Road, Bassendean. These landholdings are described on Certificates of Title Volumes 2514, 1631 and 1496 and Folios 597, 156 and 999 as having individual land areas of 3101m<sup>2</sup>, 922m<sup>2</sup> and 924m<sup>2</sup>, respectively. The combined land area of the three lots is approximately 4947m<sup>2</sup>. (Refer to **Annexure 1: Certificates of Title.**)

The combined landholding forms part of the Town Centre of the Town of Bassendean. It is a centrally located site within the Town Centre, being located approximately 400m walking distance from the Bassendean Train Station. (Refer to **Figure 1: Location Plan**)



**Figure 1:** Location Plan

*source: google maps, 2020*

Lot 54 Hamilton Street comprises of the existing Aged Care Facility owned and operated by Aegis. Vehicle access to the car parking facility and servicing area for the existing Facility is provided via the existing crossover on Hamilton Street.

Lots 84 and 85 have historically been used as a motor vehicle sales facility. The sales and administration structures remain on the land. This site is mostly paved, having been used for the display of used motor vehicles. Vehicle access to Lot 84 is currently provided at the corner of Hamilton Street and Old Perth Road with access to Lot 85 being via Old Perth Road. (Refer to **Figure 2: Aerial Photograph.**)

The landholdings are to be amalgamated as part of the development of the site. The subject lots are the subject of a current WAPC Amalgamation Approval (**WAPC Ref: 156270**). Following the finalisation of the amalgamation of the land, the combined land will have a primary frontage to Old Perth Road and secondary frontage to Hamilton Street. The secondary street frontage of Hamilton Street is proposed to provide the primary vehicle access points for the Aged Care Facility.



**Figure 2:** Aerial Photograph

(source: SLIP/Landgate, 2020)

All of the usual engineering infrastructure services (including sewerage, reticulated scheme water supply, electricity and telephone services) are provided to the *Aegis Bassendean Aged Care Facility*. Similarly, Lots 84 and 85 also enjoy access to all of the usual urban engineering infrastructure in order to service the proposed development.

Please refer to the attached annotated photographs at **Annexure 2** which depict the existing Bassendean Aged Care Facility, together with photographs of the subject land in the context of this part of the Bassendean Town Centre.

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### 3.0 PLANNING FRAMEWORK

#### 3.1 METROPOLITAN REGION SCHEME

The subject land is zoned 'Urban', pursuant to the *Metropolitan Region Scheme (MRS)*.

#### 3.2 STATE PLANNING FRAMEWORK

##### ***Perth and Peel @ 3.5million***

The Bassendean Town Centre is identified as an Activity Centre within the Central Sub-regional Planning Framework of the *Perth and Peel @ 3.5million*. It is identified as performing the role of a District Centre in this sub-region.

##### **STATE PLANNING POLICIES (SPP)**

##### ***SPP 4.2 – Activity Centres for Perth and Peel***

The Town Centre of Bassendean is identified in SPP 4.2 as being a 'District Centre'.

The proposed development appropriately responds to the objectives of this SPP 4.2 through built form and the proposed mix of land uses. The built form provides a sufficient level of intensity through the four-storey building height and articulation. The provision of additional aged care accommodation in this location is ideal as it provides residents and staff alike with direct and convenient access to a variety of opportunities for social interaction and engagement with the local community. Further, the expansion of the aged care facility will provide additional local employment opportunities in the District Centre. The inclusion of shop tenancies along the frontage of the site to Old Perth Road provides for diversity in the land use and meets the objective of the policy which encourages the placement of active uses along the main street in order to activate the public realm.

##### ***SPP 7.0 – Design of the Built Environment***

The proposed development retains the highly articulated, detailed design features and materials of the previously approved development for this land, which design more than comfortably meets with each of the overarching Design Principles of SPP 7.0. The compliance of the development with SPP 7.0 is detailed below at **Table 1**.

**TABLE 1: COMPLIANCE WITH DESIGN PRINCIPLES OF SPP 7.0**

<b>1. Context and character</b> <i>Good design responds to and enhances the distinctive characteristics of a local area, contributing to a sense of place.</i>	The high quality, architectural design of this development appropriately responds to the intended future and current character of the Bassendean Town Centre. The design also ensures it sensitively responds through design to the existing Aged Care Facility and residential area to the north as well as the adjacent school and other nearby uses.  The development provides an activated street frontage through the inclusion of the shop tenancies and an awning providing pedestrian shelter and shade.  The development fits well with the nearby recently constructed multiple dwelling developments, which also provide activated frontages to support the strengthening of the Town Centre.
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**(cont.) TABLE 1: COMPLIANCE WITH DESIGN PRINCIPLES OF SPP 7.0**

<p><b>2. Landscape quality</b> <i>Good design recognises that together landscape and buildings operate as an integrated and sustainable system, within a broader ecological context.</i></p>	<p>The development includes a detailed Landscape Plan which incorporates local plant species and is designed to ensure a seamless connection with the existing streetscape.</p> <p>The Landscape Plan remains the same as approved for the previous development proposal.</p>
<p><b>3. Built form and scale</b> <i>Good design ensures that the massing and height of development is appropriate to its setting and successfully negotiates between existing built form and the intended future character of the local area.</i></p>	<p>The built form, scale and height of this modified version of the development is appropriate to this setting and the recent mixed-use dwelling developments constructed on Old Perth Road, including The Whitfield and the apartment building located on the south eastern corner of Whitfield Street and Old Perth Road.</p> <p>The four-storey built form exhibits a high level of articulation and incorporates public art on the front façade to Old Perth Road, adding visual interest to the built form.</p> <p>This development will positively contribute to character and built form of the Town Centre, complementing the existing range of uses offered in the Town Centre through the incorporation of a commercial component to activate the public realm, and most importantly, ensuring the much needed, additional beds required to accommodate the frail aged is provided in an appropriate location for the benefit of the residents.</p>
<p><b>4. Functionality and build quality</b> <i>Good design meets the needs of users efficiently and effectively, balancing functional requirements to perform well and deliver optimum benefit over the full life-cycle.</i></p>	<p>The design of the development is a high-quality proposal incorporating extensive architectural detailing.</p> <p>The building is to be constructed of durable materials and finishes to ensure it is resilient to wear and tear and is climate responsive.</p>
<p><b>5. Sustainability</b> <i>Good design optimises the sustainability of the built environment, delivering positive environmental, social and economic outcomes.</i></p>	<p>The development optimises sustainability of the built environment through the incorporation of design features such as an open-air central element above the central courtyard on the first floor. The open-air central courtyard design allows for additional solar access to the bedrooms and an internal visual connection between the separate floors of the Aged Care Facility.</p> <p>The balconies and building setbacks are designed to ensure maximum solar access and visual connection for the residents to the activity of the main street.</p> <p>In addition, solar panels form part of the approved development to further enhance environmental sustainability through the design.</p>
<p><b>6. Amenity</b> <i>Good design provides successful places that offer a variety of uses and activities while optimising internal and external amenity for occupants, visitors and neighbours, providing environments that are comfortable, productive and healthy.</i></p>	<p>The development incorporates an appropriate mix of uses to create a viable environment, which responds to diversity of the local community. The development will provide additional beds for the frail and aged in a suitable location nearby a range of essential services and public transport options, and provides commercial tenancies on the ground floor with tenancies which can include uses and activities to contribute to the viability and activation of the Town Centre.</p>
<p><b>7. Legibility</b> <i>Good design results in buildings and places that are legible, with clear connections and easily identifiable elements to help people find their way around.</i></p>	<p>The building incorporates clear connections and identifiable external elements, including glazed shop tenancies to maximise visibility and an awning which extends from the main entrance lobby to the Aged Care Facility on Hamilton Street along the frontage of the Shop Tenancies on Old Perth Road, offering shade and shelter for pedestrians.</p> <p>Internally, the design maximises legibility through the layout including reception areas at the main entrance to each floor and directional signage.</p>
<p><b>8. Safety</b> <i>Good design optimises safety and security, minimising the risk of personal harm and supporting safe behaviour and use.</i></p>	<p>The building design maximises opportunities for casual surveillance over the surrounding street frontages through extensive window treatments and glazed balustrading along balconies. The building is to be suitably illuminated in the evening hours to optimise the safety and security within and outside the development.</p>



(cont.) TABLE 1: COMPLIANCE WITH DESIGN PRINCIPLES OF SPP 7.0

<b>9. Community</b> <i>Good design responds to local community needs as well as the wider social context, providing environments that support a diverse range of people and facilitate social interaction.</i>	The development is specifically designed to accommodate the ageing in our community. The Town Centre has witnessed a significant number of residential apartments being constructed in recent years. This development provides a different type of residential care accommodation for the frail aged. It is a well-placed addition which will add to the diversity and choice of residential accommodation options for the local community in the Town Centre.
<b>10. Aesthetics</b> <i>Good design is the product of a skilled, judicious design process that results in attractive and inviting buildings and places that engage the senses.</i>	The design appropriately addresses the scale of the existing development and new development and incorporates a high level of articulation, colour variation and interesting building elements to maximise visual interest of the urban form. Further, the inclusion of public art on the section of wall frontage to Old Perth Road will add to the character of this Town Centre.

### 3.3 LOCAL PLANNING FRAMEWORK

#### LOCAL PLANNING STRATEGY

The subject land is identified on the *Local Planning Strategy (LPS)* Map as being within the 'Town Centre Commercial B' Area. This Strategy Area is described as being for 'civic, drive-by commercial and town centre living' land uses. The proposed mixed-use development, which comprises of shop tenancies at street level and aged care accommodation on the upper floor levels, appropriately meets with the strategy objectives for this area within the Town Centre.

#### LOCAL PLANNING SCHEME NO. 10 (LPS 10)

The majority of the soon to be amalgamated land area is zoned 'Town Centre' pursuant to the Town of Bassendean *Local Planning Scheme No. 10 (LPS 10)*. A portion of the combined area, being the northern section of the land upon which the existing Aged Care Facility is developed is zoned 'Residential R20'. (Refer to **Figure 3: LPS 10 Zoning Map (Extract)**)



Figure 3: LPS 10 Zoning Map (Extract)

At Clause 4.10 – General Development Requirements – Town Centre Zone of LPS 10, it is stated that Applications for Development Approval within the Town Centre Zone are to have regard to the Objective for the Zone and the following Policy Statements:



- (a) Town Centre Design Guidelines; and
- (b) Any other relevant Policy Statement prepared by the Town.

The objectives of the applicable zone are stated at Clause 3.2.3 – Town Centre Zone together with the justification which confirms compliance of this development with those objectives, are referenced in the following **Table 2**.

<b>TABLE 2: COMPLIANCE WITH THE OBJECTIVES OF THE TOWN CENTRE ZONE</b>	
<i>(a) To promote, facilitate and strengthen the town centre zone as the principal focus of the district in terms of shopping, professional, administrative, cultural, entertainment and other business activities.</i>	The proposed revised development is designed in a manner which ensures it appropriately responds to the objective of assisting in promoting and strengthening the Town Centre as a commercial area. This is essentially achieved through the incorporation of commercial tenancies at street level along the Old Perth Road frontage. The promotion and strengthen of the Town Centre through this development is further achieved through the proposed expansion of the aged care facility in this location. The additional staff, residents and their families will have convenient and direct access to the range of services and entertainment opportunities available in the Town Centre.
<i>(b) To recognise the unique and specific function of each precinct within the town centre in terms of:</i> <ul style="list-style-type: none"> <li><i>(i) Traditional main street pedestrian based commercial retail, west of Wilson Street;</i></li> <li><i>(ii) <b>Civic, drive-by commercial and town centre living uses between Wilson and Whitfield Street;</b> and</i></li> <li><i>(iii) Car based retail in the Bassendean Village Shopping Centre.</i></li> </ul>	The proposed development fits within the specific function of precinct by providing commercial space at ground level and residential accommodation for the frail aged in the community, which is an appropriate form of Town Centre living use.
<i>(c) To accommodate a diversity of commercial, cultural and residential facilities.</i>	The proposed development provides commercial space and residential care accommodation for the aged in the community, which meets with this objective.
<i>(d) To encourage the integration of existing and proposed facilities within the zone so as to promote ease of pedestrian movement and the sharing of infrastructure, as well as to retain the opportunity for any future expansion of the area.</i>	The proposed development allows for the expansion of the existing Aged Care Facility and will enhance the ease of pedestrian movement to and from the existing Aged Care Facility. The expansion of this use to allow for the inclusion of additional, much needed beds for the frail aged in our community in this location also allows for the sharing of essential infrastructure to support this use.
<i>(e) To achieve safety and efficiency in traffic circulation.</i>	The proposed expansion of the Aged Care Facility provides for safety and efficiency in traffic circulation via Hamilton Street only (and the removal of all crossovers to Old Perth Road), together with a sufficient number of on-site parking bays provided to support the use.
<i>(f) To ensure that buildings, ancillary structures and advertising are of high quality and achieve an architectural theme contributing to the uniqueness of the townscape.</i>	The proposed development is a high-quality architectural design which will positively contribute to the uniqueness of the Bassendean Town Centre.
<i>(g) To provide sheltered places for pedestrians and shade to car parking areas.</i>	The proposed development incorporates awnings over the Shop tenancies along Old Perth Road, with an awning extending to connect to the pedestrian entrance lobby at the Hamilton Street frontage of the site, offering shelter and shade for pedestrians.

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**(cont.) TABLE 2: COMPLIANCE WITH THE OBJECTIVES OF THE TOWN CENTRE ZONE**

(h) <i>To preclude the storage of bulky and unsightly goods from public view.</i>	The proposed development ensures that no storage of bulky goods or unsightly materials are evident from the public view.
(i) <i>To provide landscaping appropriate to the scale of development.</i>	The landscaping plan attached to this Application is compliant and appropriate to the scale of development.
(j) <i>To ensure that development conforms with the Local Planning Strategy and the principles of any Local Planning Policy adopted by the Council."</i>	The attached Compliance Table confirms the development conforms with the Strategy and relevant Local Planning Policies.

### **Land Use Classes**

The proposed use of Aged Care Facility/Nursing Home is not a use which is specifically mentioned in LPS 10.

The proposed extension of the Aged Care Facility over the combined land area is therefore required to be considered for compliance in accordance with Clause 3.4.2 of LPS 10.

At Clause 4.4.2 (a) it is stated that the Town is required to consider whether the use is consistent with the objectives of the zone and therefore permitted or alternatively (at Clause 4.4.2 (b)), whether the use is consistent with the objectives of the zone and thereafter follow the advertising procedures of clause 67 of the deemed provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015* in considering an application for development approval.

As confirmed in the preceding **Table 2** – Compliance with the Objectives of the Town Centre Zone, the proposed development is consistent with the objectives of the Town Centre zone, which proposes the same high quality architecturally designed development as previously approved by JDAP.

The Use Class of Shop is able to be considered by the Town for approval, being identified at Table 1 - Zoning Table of LPS 10 as a permitted (P) use within the Town Centre zone.

### **Car Parking**

The development proposes an on-site shared use car parking facility containing a total of 49 bays, including one (1) accessible bay, which is more than sufficient to accommodate the proposed development. The car parking breakdown is provided in the following **Table 3** – Car Parking Requirements.

The car parking requirements of the Town are specified at Table 2 – Minimum Car Parking Spaces of LPS 10. In order to calculate the number of car bays for the Aged Care Facility component of the development, the land use category of 'Nursing Home' has been applied, which is a listed use class at Table 2 of LPS 10. A 'Nursing Home' is generally defined as a facility providing residential care for the elderly and therefore is most suitable to apply in order to determine the parking requirement for this use component. This parking ratio was similarly applied in the assessment of the previous approved development proposal for this site.

The land use category of 'Shop' is applied to determine the car parking requirements for the three (3) commercial tenancies, which again accords with the assessment of the previously approved development on the land.

<b>TABLE 3: CAR PARKING REQUIREMENTS</b>			
<b>Use Class</b>	<b>Ratio</b>	<b>Calculation</b>	<b>No. of Car Bays</b>
<i>Nursing Home</i>	1 bay per 5 beds	Existing and Proposed Beds: 136	27
<i>Shop</i>	8 bays per 100m <sup>2</sup> GFA	260m <sup>2</sup> GFA	21
<b>TOTAL REQUIRED</b>			<b>48</b>
<b>TOTAL PROVIDED</b>			<b>49</b>

The parking is therefore compliant with the Town requirements.

It is noted that, similar to the previously approved development, the parking facility will be secured after normal business trading hours, with staff and approved visitors being supplied with the code for accessing to the car park outside of these hours.

Further information regarding compliance with the relevant requirements of the Town Centre Strategy, in regard to bicycle and motorcycle parking, is contained in **Table 4: Compliance Table** attached at **Annexure 3**.

#### **LOCAL PLANNING POLICIES (LPP)**

The compliance of the proposed development with the relevant Local Planning Policies of the Town, including the Town Centre Strategy and Guidelines is comprehensively detailed in **Table 4: Compliance Table** attached at **Annexure 3**.

This Compliance Table also refers to the relevant requirements as specified in the following Policies:

- ***LPP 1: Bassendean Town Centre Strategy and Guidelines***
- ***LPP 9: Design Review Panel Policy***

It is relevant to note that the previous assessment of the approved development included the Town undertaking a comprehensive design review process, through consultation with an independent consultant (Hames Sharley). The development was amended to respond to the impartial comments provided by Hames Sharley, which design elements are retained in this modified development proposal.

As this proposal constitutes minor modifications to the previously approved development, which development was reviewed independently, the requirement for this review by the Design Review Panel is considered to have already been met.

- ***LPP 10: Window Security for Non-Residential Property Facades***
- ***LPP 14: Stormwater***
- ***LPP 15: Percentage for Art Policy***
- ***LPP 18: Landscaping with Local Plants***

## 4.0 THE PROPOSAL

The proposed modified development to extend the existing *Aegis Bassendean Aegis Aged Care Facility* is described on the attached drawings, prepared by the Project Architect.

The design of the development retains the earlier approved high quality external and internal detail, which design was supported by the Town and approved by JDAP, following the completion of a comprehensive design review and assessment process.

The main revisions to the approved development are mostly internal to the building apart from the reduction in the overall height of the building from five (5) to four (4) storeys.

The internal modifications include the removal of the two (2) upper floors of Over 55 Apartments and the reconfiguration of the building to accommodate additional beds for the Aged Care Facility, in lieu of the apartments.

These revisions allow for the expansion of the Aged Care Facility to include a total of 97 new aged care beds. The number of beds in the existing Aged Care Facility is currently 44, which will be reduced to 39 beds as a result of this development. The total number of aged beds to be provided at the Facility, following the completion of this development, is 136 beds.

The revisions also include a slight reduction in the number of car bays within the on-site car parking facility which has facilitated a minor increase to the floor areas of the commercial tenancies.

The revisions to proposed the approved development are detailed in the following **Table 5**.

TABLE 5: DESCRIPTION OF REVISIONS TO DEVELOPMENT	
2018 APPROVED DEVELOPMENT	2020 REVISED DEVELOPMENT PROPOSAL
<p><b>LOWER GROUND FLOOR:</b></p> <p>Shop 1: 60m<sup>2</sup> Shop 2: 60m<sup>2</sup> Shop 3: 99m<sup>2</sup></p> <p>The approved onsite car park is accessed via a new crossover on Hamilton Street and contains 52 bays, incl. 1 accessible bay, 4 motorcycle bays and 4 bike racks.</p> <p>The 40km zone school sign is required to be relocated to allow for the construction of the new crossover. Main Roads WA agreed to the relocation of this sign.</p> <p>Bin store area is provided for the Apartments and Shops. Store rooms are provided for the Apartments.</p> <p>Main entrance lobby accessible from Hamilton Street.</p> <p>An awning is provided along the Old Perth Road frontage of the commercial tenancies, extending to the lobby entrance on Hamilton Street.</p> <p>The Transformer, Fire Pump Room, Fire Emergency Exit are shielded by a solid wall at the eastern end of Old Perth Road frontage. Public art approved to be installed to the wall to add visual interest to the facade.</p>	<p><b>LOWER GROUND FLOOR:</b></p> <p>Shop 1: 71m<sup>2</sup> (increased floor area by 11m<sup>2</sup>) Shop 2: 87m<sup>2</sup> (increased floor area by 17m<sup>2</sup>) Shop 3: 102m<sup>2</sup> (increased floor area by 3m<sup>2</sup>)</p> <p>The proposed car park maintains the approved accessed via a new proposed crossover on Hamilton Street. The total number of car bays is reduced to 49 shared use car bays, incl. 1 accessible bay, 4 motorcycle bays and 4 bike racks.</p> <p>The 40km zone school sign is to be relocated to facilitate new crossover, as agreed by Main Roads WA.</p> <p>Bin store is redesigned to accommodate the required bins to service the Shop tenancies. The store rooms are reduced and revised for use by the Aged Care Facility.</p> <p>Main entrance lobby is retained as approved, being accessible via Hamilton Street.</p> <p>The awning along the Old Perth Road frontage of the commercial tenancies, extending to the lobby entrance on Hamilton Street, is retained, as approved.</p> <p>The Transformer, Fire Pump Room, Fire Emergency Exit are retained in the location as approved. The solid Wall at eastern end of Old Perth Road frontage to shield the transformer and pump room is retained as approved, with public art to be applied to wall.</p>

**(cont.) TABLE 5: DESCRIPTION OF REVISIONS TO DEVELOPMENT**

<b>2018 APPROVED DEVELOPMENT</b>	<b>2020 REVISED DEVELOPMENT PROPOSAL</b>
<p><b>EXISTING AGED CARE FACILITY – UPPER GROUND FLOOR/FIRST FLOOR LEVEL OF NEW BUILDING (ILLUSTRATED ON SINGLE PLAN):</b></p> <p>The upper ground floor level was designed to provide the connection to the existing Aged Care Facility to the north, which was approved to be extended south to meet the new building.</p> <p>The extension of the existing single storey building on Hamilton Street to the south involved the removal of 11 car bays which currently exist along the southern side boundary of that lot. These car bays are proposed to be accommodated within the new basement car park of the amalgamated lot.</p> <p>The existing delivery bay and servicing layout was approved for servicing of the development.</p>	<p><b>EXISTING AGED CARE FACILITY – UPPER GROUND FLOOR:</b></p> <p>The upper ground floor includes the existing Aged Care Facility which accommodates a total of 39 beds.</p> <p>The proposed extension includes a seamless connection to the existing Aged Care Facility to the north, which is proposed to be extended south to meet the new building, as illustrated on the attached Upper Ground Floor Plan.</p> <p>The extension of the existing single storey building on Hamilton Street involves the removal of 11 car bays which currently exist along the southern side boundary of that lot. These car bays are proposed to be accommodated within the new basement car park of the amalgamated lot. This design remains the same as approved under the previous development proposal.</p> <p><b>The modifications to this level of the site relate to the need to incorporate additional bins to service the increased number of aged care beds proposed, refer to the updated waste management plan assessment as detailed below at Section 4.1.</b></p>
<p>This same drawing titled 'Upper Ground Floor Plan' includes the detail for the first-floor level of the new building. The revised drawings lodged with this Application show this floor layout on the drawing titled 'First Floor Plan', given that the first floor of the new building is proposed at a higher level to the ground floor of the existing facility. The difference in level is approximately 2.35m.</p> <p>The approved layout for the first floor of the new building comprised of <b>a total of 27 beds</b>, together with lounge spaces, kitchen, courtyard (upper ground), therapy rooms, a theatre, staff room, administration and reception in various locations.</p>	<p><b>FIRST FLOOR PLAN:</b></p> <p>The first-floor level of the new building retains the approved internal layout of the earlier development. It is designed to accommodate <b>a total of 27 beds</b>, together with lounge spaces, kitchen, courtyard, therapy room, hair salon, staff room, administration and reception in various locations.</p> <p><b>No modification to the approved design is proposed to this floor level of the new building.</b></p>
<p><b>FIRST FLOOR PLAN (ILLUSTRATES THE SECOND FLOOR LEVEL OF REVISED APPLN):</b></p> <p>The approved layout comprised of <b>a total of 37 beds</b>, together with lounge spaces, kitchen, courtyard (upper ground), therapy rooms, a theatre, staff room, administration and reception in various locations.</p>	<p><b>SECOND FLOOR PLAN:</b></p> <p>The second-floor level of the new building retains the approved internal layout of the earlier development. It is designed to accommodate <b>a total of 37 beds</b>.</p> <p><b>No modification to the approved design is proposed for this floor level of the new building.</b></p>
<p><b>SECOND FLOOR PLAN (ILLUSTRATES THE THIRD FLOOR LEVEL):</b></p> <p>Approval granted for a total of nine (9) Over 55 Years Apartments.</p>	<p><b>THIRD FLOOR PLAN (EQUIVALENT TO A FOUR STOREY BUILDING HEIGHT):</b></p> <p>The apartment configuration has been removed.</p> <p><b>The modifications to the approved design include the revised internal layout to accommodate an additional 33 aged care beds, together with lounge spaces, therapy and other ancillary type service rooms, lobby and dining and servery areas.</b></p>
<p><b>THIRD FLOOR (ILLUSTRATES FOURTH LEVEL/FIFTH STOREY HEIGHT)</b></p> <p>Approval granted for a total of nine (9) Over 55 Years Apartments.</p>	<p><b>TOP FLOOR LEVEL REMOVED FROM DESIGN.</b></p>

#### 4.1 Waste Management Plan

The Waste Management Plan prepared by *Aurora Environmental* for the previously approved development has been adapted to reflect the revised modified proposal. The details of the revised waste management proposal are provided below.

TABLE 6: SIZE OF DEVELOPMENT			
DEVELOPMENT TYPE	CURRENT DEVELOPMENT	PROPOSED DEVELOPMENT	TOTAL
Aged Care Beds	44*	97	136
Shop Tenancies**	0	3	3

\* The number of aged care beds in the existing development will be reduced to 39 with 97 new beds being created in the new development footprint.

\*\* The Shop tenancies are expected to be general retail and not restaurants or food outlets.

#### **Key Requirements of the Town of Bassendean**

This plan incorporates the key requirements for waste management as identified by the Town to *Aurora Environmental*.

These requirements are listed below and retained for the revised waste management proposal for this modified development proposal.

1. The Aged Care Facility is to adopt an approach to waste management that facilitates waste minimisation through ready access to recycling services and promotion of the use of recycling facilities.
2. The facility design needs to facilitate safe access by both commercial vehicles collecting waste and vehicles contracted by the Town of Bassendean for kerbside collection of waste.
3. Bin storage areas need to be secure and located off the street with sufficient bin capacity to meet waste generation needs without spillage of waste or overfilling.
4. Waste storage needs to be in enclosed bins to prevent issues with odour and vermin.
5. Bin storage areas and bins need to be regularly cleaned to prevent odour and vermin attraction.
6. Any commercial waste collections need to occur after 7:00am to prevent noise impacts for residents in the Aged Care facility and on adjoining properties.

#### **Relevant Legislation and Policy**

Local governments are responsible for the collection of municipal solid waste under the *Waste Avoidance and Resource Recovery Act 2007 (WARR Act)*. The focus of this legislation is to promote the safe collection of waste and to minimise the quantity of waste directed to landfill through adoption of the Waste Hierarchy which promotes waste avoidance and recycling in preference to disposal of waste to landfill.

The *Health Act 1911* also imposes obligations on local governments as part of its environmental health role in terms of providing efficient and safe waste collection services to all residents which prevent the spread of diseases commonly associated with poor waste management practices through contamination of water or through increased attraction of vermin such as flies and rodents which act as vectors for the spread of many diseases.

The two key aspects regulated by local governments are:

- ensuring that larger premises with multiple dwellings or tenancies are designed to accommodate sufficient storage capacity for waste; and
- ensuring that bin set out areas are accessible by pick-up vehicles.

### ***Estimated Waste Quantities and Composition***

Aegis has good quality data on the quantities and types of waste produced from the aged care bed portion of the facility having operated numerous such facilities for many years. Based on this data the estimated waste production is summarised in **Table 7**.

<b>TABLE 7: ESTIMATED WASTE PRODUCTION – AGED CARE BEDS</b>	
<b>WASTE TYPE</b>	<b>TOTAL VOLUME/WEEK</b>
<b>General (Municipal Solid Waste)</b>	15,780L
<b>Cardboard and Paper</b>	3,540L
<b>Co-Mingled Recyclables</b>	1,570L
<b>Grease Trap</b>	440L

In addition to the waste listed in Table 7, a small amount of clinical waste is generated and stored in specialised containers in the doctor's room. These containers are collected on an ad hoc basis by a contractor who collects the waste (when requested) and provides empty replacement containers. The quantities are small and as this collection service is arranged on demand. This particular waste component is therefore not required to be referenced further in this management plan.

### ***Retail/Shop Tenancies***

Waste volumes from the three retail/shop tenancies have been calculated using the information contained in Appendix 1 of the *Commercial and Industrial Waste Management Plan Guidelines* (WALGA, 2015a).

The retail tenancies are expected to operate as shop type outlets. The tenancies are therefore not intended to serve or handle food.

The individual floor areas of the three (3) shop tenancies are 102m<sup>2</sup>, 87m<sup>2</sup> and 71m<sup>2</sup> respectively.

Based on these floor areas, the nature of the retail premises and the information in Appendix 1 of the cited WALGA Guideline, the estimated waste production from the retail premises is summarised in **Table 8**.

<b>TABLE 8: ESTIMATED WASTE PRODUCTION – RETAIL/SHOP TENANCIES</b>				
<b>WASTE TYPE</b>	<b>TENANCY 1 102m<sup>2</sup> Volume/Week</b>	<b>TENANCY 2 87m<sup>2</sup> Volume/Week</b>	<b>TENANCY 3 71m<sup>2</sup> Volume/Week</b>	<b>TOTAL VOLUME/WEEK</b>
<b>General (Municipal Solid Waste)</b>	357L	305L	249L	911L
<b>Co-Mingled Recyclables</b>	357L	153L	125L	635L

## ***Waste Management System***

### ***Overview***

The existing Aged Care Facility is serviced by commercial waste contractors using bulk storage bins and a conventional grease trap and this arrangement will continue.

Bins will be stored in two (2) enclosed stores adjacent to the Delivery Bay. Further information is provided below.

The retail/shop tenancies will use 240L MGBs for both general waste and co-mingled recyclables. The bins for these tenancies will be stored in the Shop Bin Store area designated on the lower floor level. Further information is provided below.

### ***Waste Storage and Handling***

#### ***Aged Care Facility***

The aged care beds are fully serviced with small temporary storage bins which are collected and aggregated by staff into larger mobile bins and eventually deposited into bulk containers in the Bin Stores adjacent to the Delivery Bay. Waste is separated into three (3) streams:

- General Waste
- Recyclable Paper and Cardboard
- Co-mingled Recyclables

A similar approach is taken to communal areas, where bins marked for each type of waste are placed for residents and are serviced by cleaning staff with waste deposited in the large bulk storage bins in the bin stores.

Transport of waste from upper floors is facilitated by use of wheeled carts and use of elevators to transport waste between floors.

A significant percentage of the waste stream is generated from the kitchen area which is serviced by day bins located within the kitchen which are subsequently emptied by staff into the bulk bins in the bin storage areas which are in close proximity to the kitchen. The kitchen is also equipped with a grease trap of 2000L capacity which is serviced at approximately four (4) week intervals by a licensed contractor from the delivery bay.



This waste system is already functioning successfully and will simply be expanded to service the larger number of beds.

The bulk waste bins are stored in two (2) enclosed dedicated bin storage rooms adjacent to the delivery bay. These bin storage rooms are equipped with mechanical ventilation.

Bins from the aged care facility will be collected by a commercial contractor using a rear lift truck. Details of the number and size of containers and frequency of collection are summarised in **Table 9**.

<b>TABLE 9: WASTE STORAGE AND COLLECTION – AGED CARE</b>			
<b>WASTE TYPE</b>	<b>BIN TYPE/SIZE</b>	<b>NUMBER OF BINS</b>	<b>COLLECTION FREQUENCY</b>
<b>General (Municipal Solid Waste)</b>	660L MGB	8	3/PER WEEK Monday, Wednesday, Friday
<b>Cardboard and Paper</b>	1100L MGB	4	1/PER WEEK Thursday
<b>Co-Mingled Recyclables</b>	660L MGB	3	1/PER WEEK Thursday
<b>Grease Trap</b>	2000L	1	1/EVERY 4 WEEKS

### ***Retail/Shop Tenancies***

The three (3) tenancies are located on the lower (ground) floor level with each tenancies having a main frontage to Old Perth Road. The tenancies are provided with direct access from the rear of each of the tenancies to the car park with ready access to the bin store. It is anticipated that the retail tenants will maintain and empty the bins for their respective tenancies on a daily basis into 240L MGBs in the area within the car park designated for the use of the 'shop bin store'. The size of bins held in the tenancies will be determined by the leaseholder but the bins in the waste storage area will be 240L MGBs with either green top for general waste or a yellow top for co-mingled recyclables.

To cater for the waste volumes outlined in **Table 8**, there will be a requirement for three (3)/four (4) bins for general waste and two (2)/three (3) bins for recyclables. The details of the waste management systems to serve the retail tenancies is summarised below in **Table 10**.

<b>TABLE 10: WASTE STORAGE AND COLLECTION – RETAIL/SHOP TENANCIES</b>			
<b>WASTE TYPE</b>	<b>BIN TYPE/SIZE</b>	<b>NUMBER OF BINS</b>	<b>COLLECTION FREQUENCY</b>
<b>General (Municipal Solid Waste)</b>	240L MGB	4	1/PER WEEK Monday
<b>Co-Mingled Recyclables</b>	240L MGB	6	FORTNIGHTLY Monday

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## **Bin Storage Areas**

Three (3) bin storage areas service the overall facility as follows:

- Two (2) new bulk bin storage rooms are provided adjacent to the delivery bay for waste generated by the Aged Care Facility. One of these storage rooms will be designated for general waste and the other, for recycled waste. Both these storage rooms have sufficient capacity to store all of the bulk bins to service the facility as shown in **Table 8**. These storage rooms will be secure and mechanically ventilated.
- A new storage area is included in the shop bin store in the lower floor of the new building. The room has the capacity to store up to 11 bins. The store has an automatically closing door which remains closed except when being used to access or egress the room and is mechanically ventilated.

The information provided in **Table 7** shows that the total waste production from Retail/Shop Tenancies can be handled in 10 bins.

The shop bin store area has been located to provide ready access to those placing waste in the bins whilst also ensuring the bin store location is secure from the public.

The state of the bins and bin stores will be monitored by the Caretaker. The Caretaker will be responsible for the following actions.

- Transferring full bins to the kerbside on waste pick up days and returning them to the bin stores after they have been collected.
- Collecting any litter and sweeping up accumulated dirt in the bin stores and placing it in the bins.
- Regularly washing and disinfecting the floors in the bin stores to keep the area free of odour.
- Placing insect and rodent baits or using topical sprays as required to control pests.

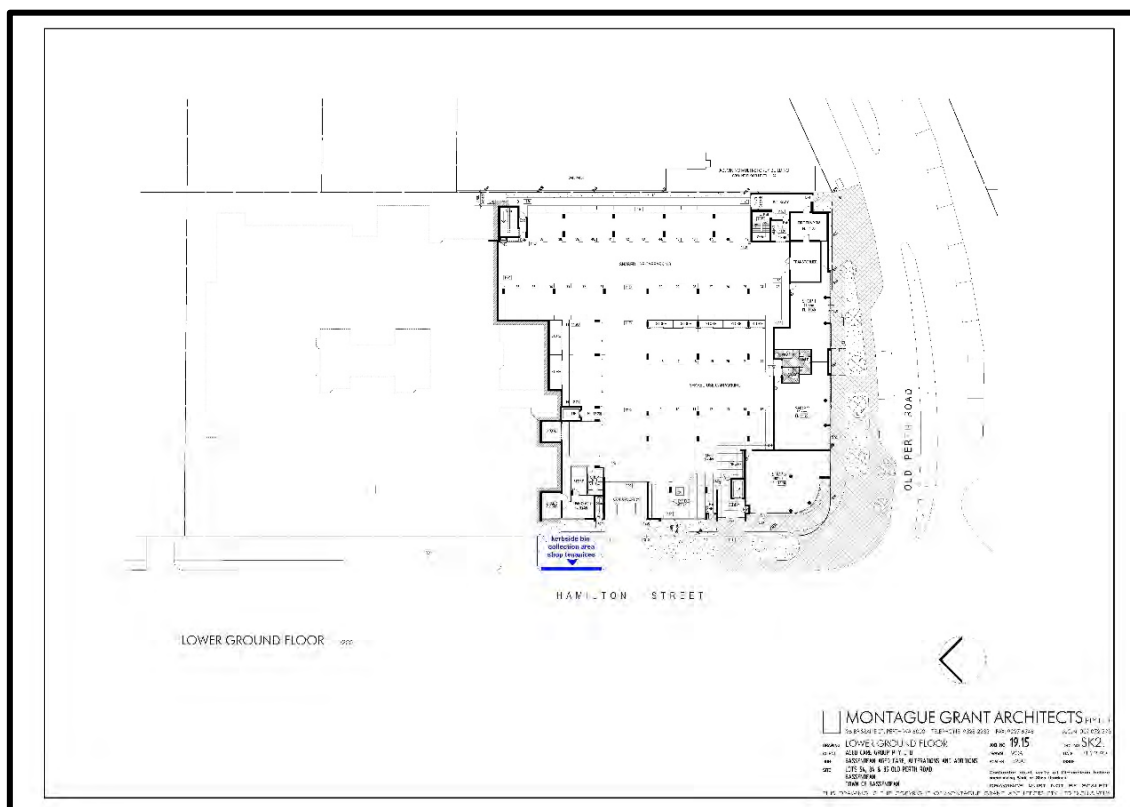
As indicated earlier, the operators of the retail tenancies will be responsible for the type of waste receptacles they use in their premises but will have access to 240L yellow top and green top bins in the waste store for bulk waste storage. The Caretaker will manage the bins used by the retail tenants.

## **Bin Collections**

The bins from the Aged Care Facility bin stores will be collected under the same commercial contract that is currently used. The only change will be that in view of an overhead obstruction introduced as part of the new building, the bins will be collected by a rear-lift truck and the frequency will increase to three (3) times per week (Monday, Wednesday and Friday).

Full bins from the Retail/Shop Tenancies will be transferred from the lower floor bin store and placed in kerbside collection zone on Hamilton Street, as illustrated at **Figure 4**. It is anticipated that on average ten (10) bins will be placed on the kerb every second Monday when recyclables are collected (four (4) general waste bins and six (6) recycling bins).

The Caretaker for the Aged Care Facility will be responsible for deploying and recovering the bins at the kerb.



**Figure 4: Waste Collection Zone –Retail/Shop Tenancies**

### ***Education and Awareness***

Consistent with Government Policy, the owners of the Facility are committed to minimising the volume of general waste that is directed to landfill. In this regard, the following actions are to be taken:

- An ample number of yellow topped recycling bins will be provided for co-mingled recyclables generated by the Retail/Shop Tenancies;
- The Aged Care Facility has ample bin capacity to store separated and cardboard and co-mingled recyclables;
- All staff handling waste in the Aged Care Facility will be educated in the need to handle and store general waste and recyclable materials separately;
- Separate, clearly labelled bins will be provided in bed and communal areas of the Aged Care Facility for general waste and recyclables; and
- All tenants of the Retail/Shop Tenancies will also be briefed on the waste management system when they take up the lease with an emphasis on the need to segregate general waste and co-mingled recyclables and this briefing will be supported by written materials and brochures.

The Caretaker will be given the necessary support by the owners to ensure that his duties can be conducted effectively and efficiently.

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## 4.2 Traffic Impact Statement

A *Traffic Impact Statement (TIS)* was prepared by *Transcore* in support of the previously approved JDAP Development Application. The TIS is included at **Annexure 4**.

The traffic analysis undertaken for the approved development demonstrated that the traffic generation, which contained 18 residential apartments and therefore far more intensive in terms of daily traffic movements was minimal (less than 100vph) and as such, would have insignificant impact on the surrounding road network.

In recent discussions with the Town, it was considered reasonable to conclude that this revised development would have lesser impact than the previously approved development proposal. Therefore, it is deemed not necessary to revise the TIS to reflect the modified development as it would produce no different conclusions to that which it currently contains.

## 4.3 Contaminated Site Audit

An investigation for soil and groundwater contamination by *Strategen* has been undertaken over Lots 84 and 85 Old Perth Road. *Serversa* subsequently completed a Contaminated Site Audit and is to prepare a Mandatory Auditors Report (MAR) for the site, as part of the upcoming stages of this investigation. A copy of the Auditor advice is attached at **Annexure 5**.

This investigation work is a conditional requirement of the WAPC Approval granted to amalgamate the three (3) subject lots as part of the proposed extension of the Aged Care Facility. It is a requirement as these sites are known to have been historically used as a service station, car workshop and more recently, a car sales yard. The environmental assessment commenced following receipt of the WAPC Amalgamation Approval and is to be completed as part of the site works for the proposed development.

## 4.4 Servicing Considerations

All of the usual engineering infrastructure services (including sewerage, reticulated scheme water supply, electricity and telephone services) are able to be extended to service the expansion of the proposed Aged Care Facility.

The proposed development includes solar panels to increase energy efficiency.

Air conditioning wells have been included in the roof structure to effectively screen this infrastructure.

A *Stormwater Drainage Management Plan (SDMP)* was prepared by *BPA Engineering* to support the approved development. This drainage management plan is relevant to the modified design and the requirements as detailed in this plan are to remain without any need for revision. A copy of the SDMP is attached **Annexure 6**.

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## 5.0 CONCLUSION

This Application seeks approval for a modified version of the 2018 JDAP Development Approval granted for the land. The revised development has simply removed the Over 55 Years Apartments and reconfigured the internal layout to respond to that modification.

This revised Application demonstrates that the development remains entirely consistent with the relevant State and Local Planning Framework, including that the development more than comfortably satisfies each of the design principles of achieving a good design outcome which positively responds and contributes to the built environment as a whole, as set out in the recently introduced *State Planning Policy 7.0 – Design of the Built Environment*.

The design for the previous development was the subject of an extensive planning, design and consultation process with the Town and as a result of that was favourably considered and approved by JDAP. This design is retained, with only minor modifications being undertaken in order to remove the unviable upper level apartment component.

Accordingly, we seek the support of the Town to recommend to JDAP that this Application be granted approval, with reasonable conditions attached.

We therefore respectfully request that this Application be formally received on lodgement and notification sent to JDAP within seven (7) days of receipt, to confirm that the Application has been received.

***Peter Webb and Associates***

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# DEVELOPMENT PLANS

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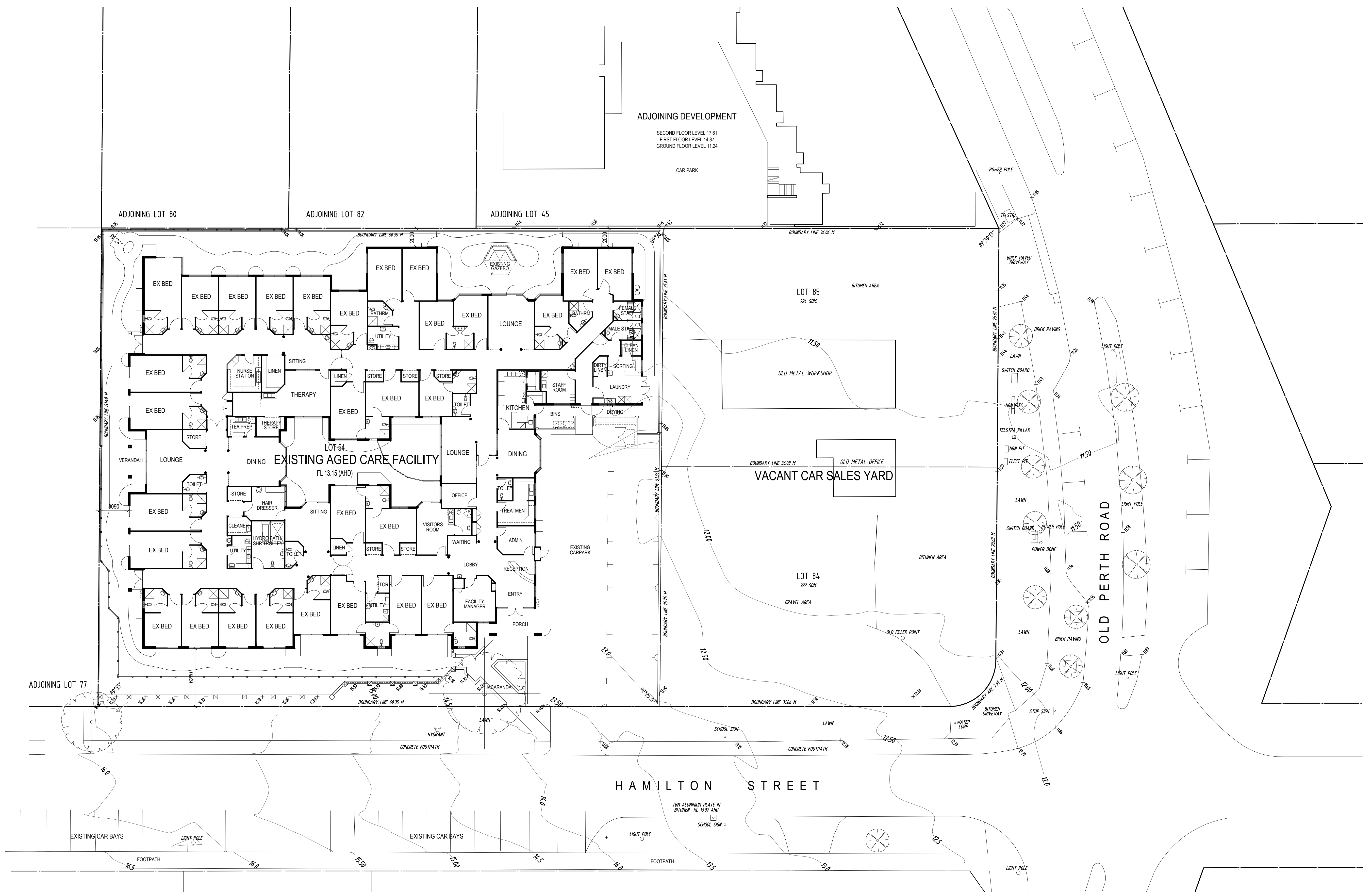




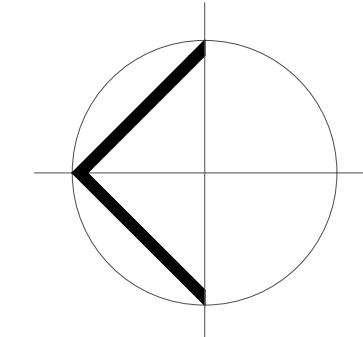








SITE PLAN 1:200



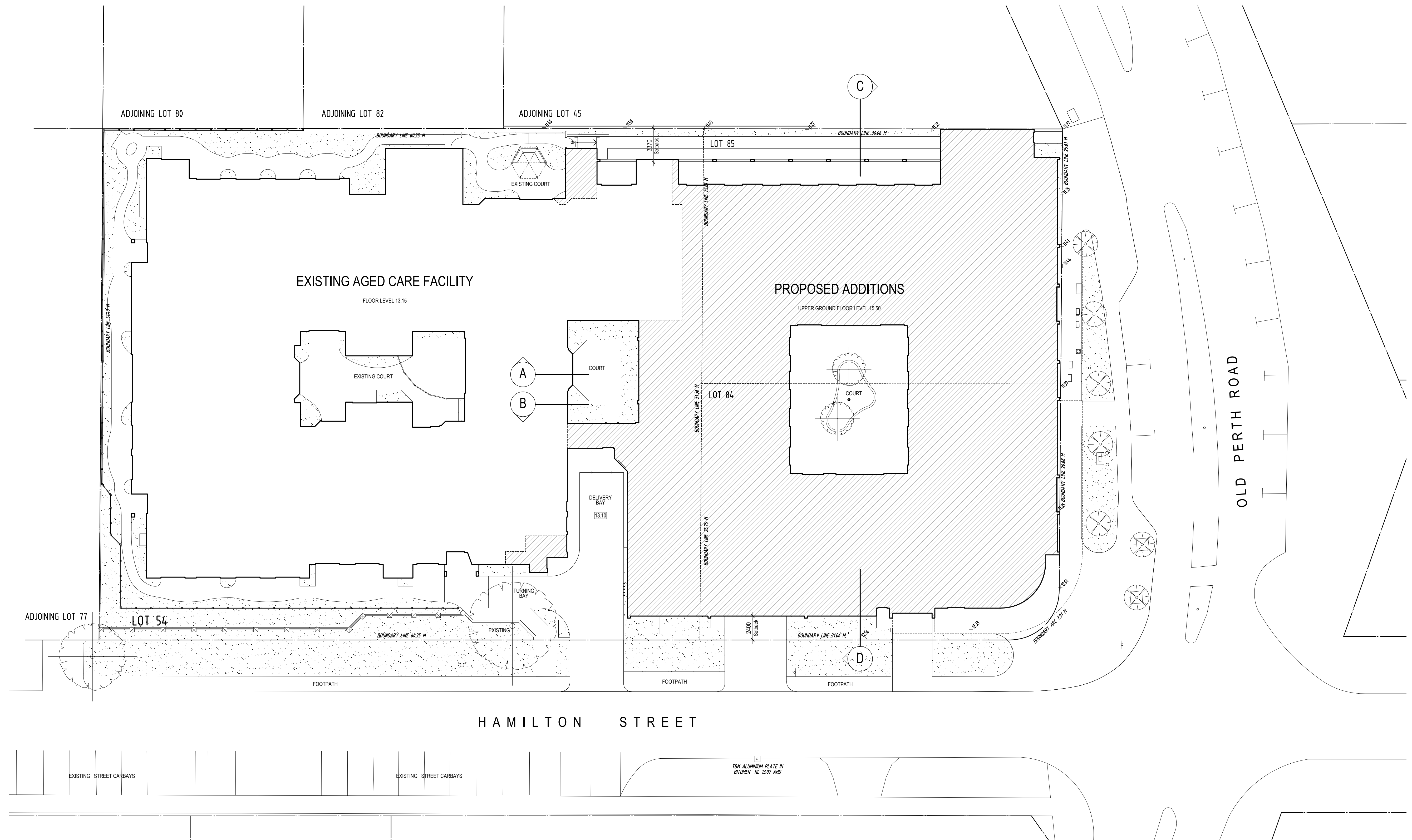
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**SITE ANALYSIS PLAN**  
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BASSEDEAN AGED CARE, ALTERATIONS AND ADDITIONS  
LOTS 54, 84 & 85 OLD PERTH ROAD  
BASSEDEAN  
TOWN OF BASSEDEAN

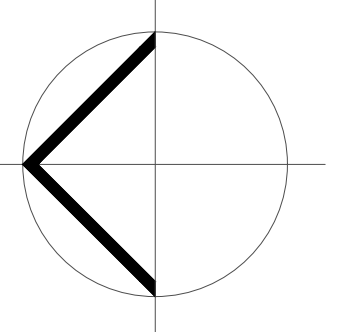
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**EX1**  
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SITE PLAN 1:200



# AEGIS BASSENDEAN ALTERATIONS & ADDITIONS

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SITE

SITE PLAN

AGED CARE GROUP PTY LTD

BASSENDEAN AGED CARE, ALTERATIONS AND ADDITIONS

LOTS 54, 84 & 85 OLD PERTH ROAD

BASSENDEAN

TOWN OF BASSENDEAN

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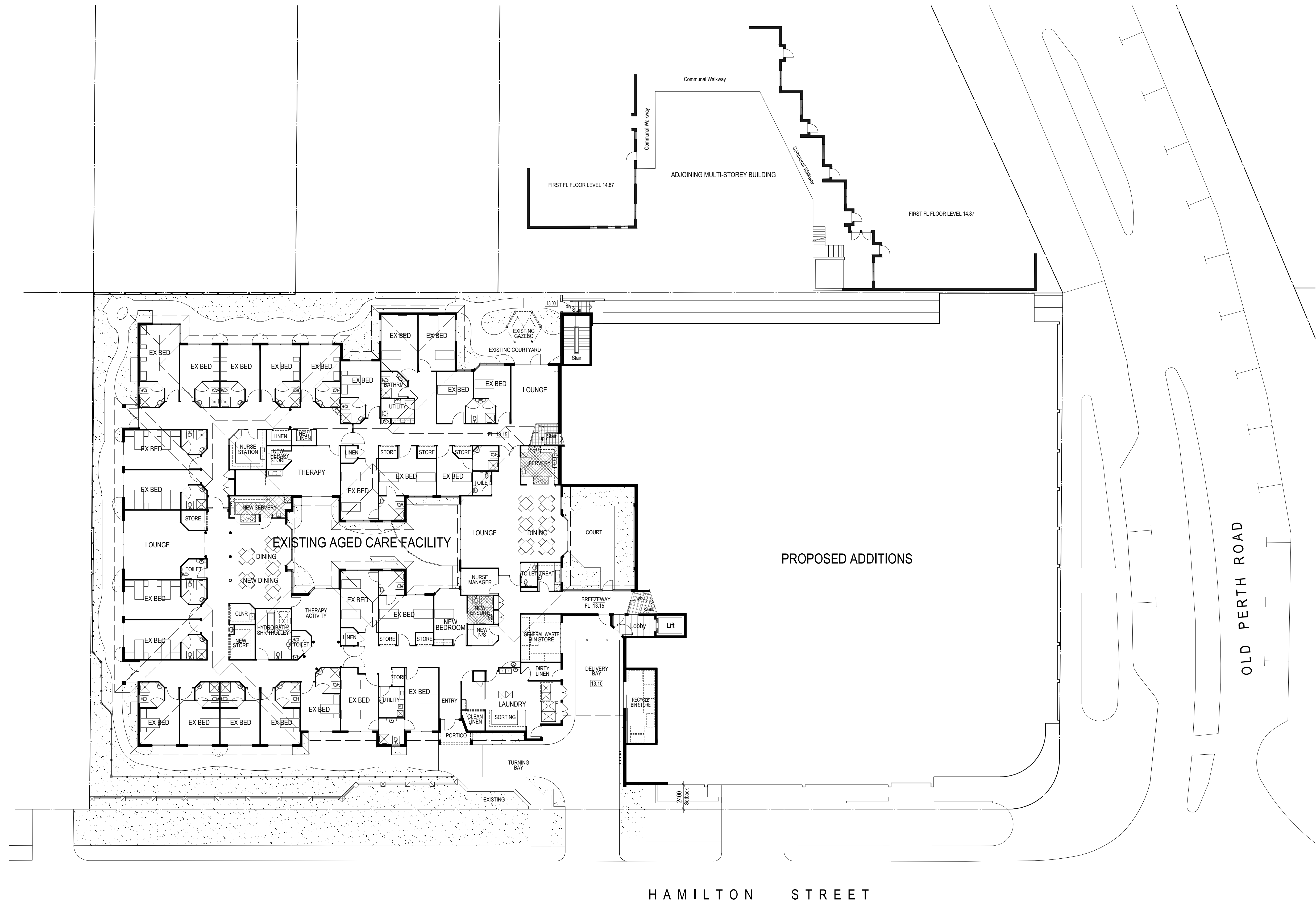
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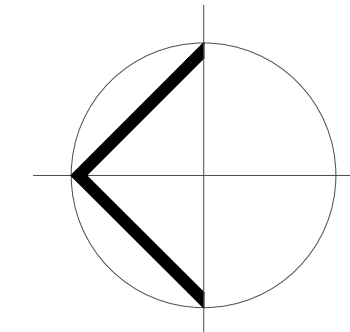
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DRAWING	LOWER GROUND FLOOR	JOB NO <b>19.15</b>
CLIENT	AGED CARE GROUP PTY LTD	DRG NO <b>SK2.</b>
JOB	BASSENDAN AGED CARE, ALTERATIONS AND ADDITIONS	DRAWN MGA
SITE	LOTS 54, 84 & 85 OLD PERTH ROAD BASSENDEAN TOWN OF BASSENDEAN	DATE JULY 2020
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SITE

UPPER GROUND FLOOR  
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BASSENDEAN AGED CARE, ALTERATIONS AND ADDITIONS  
LOTS 54, 84 & 85 OLD PERTH ROAD  
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TOWN OF BASSENDEAN

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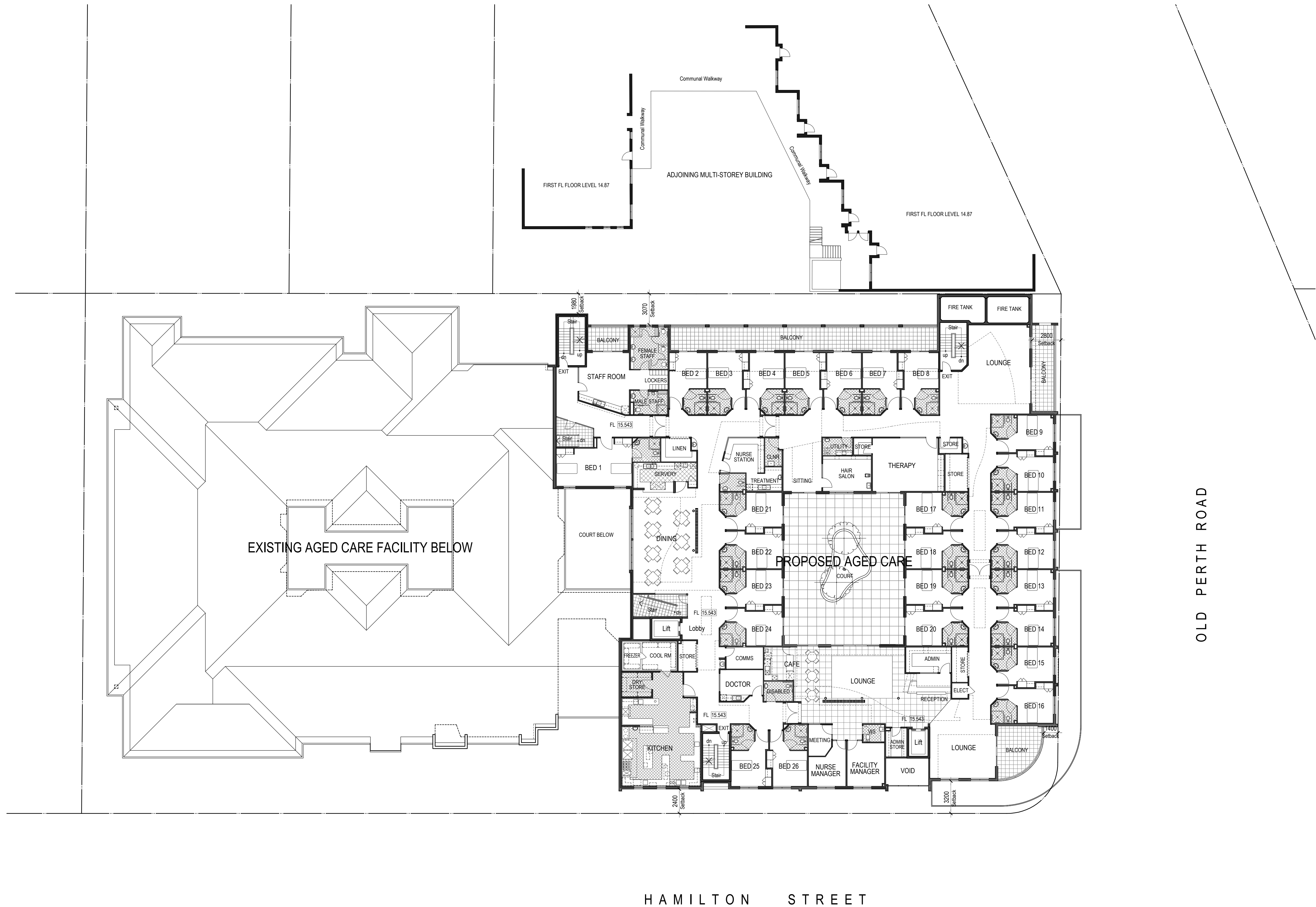
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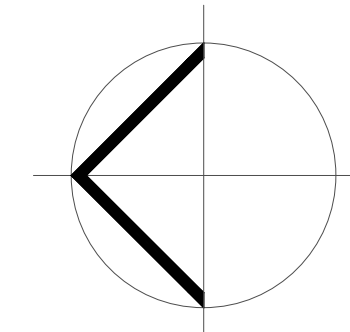
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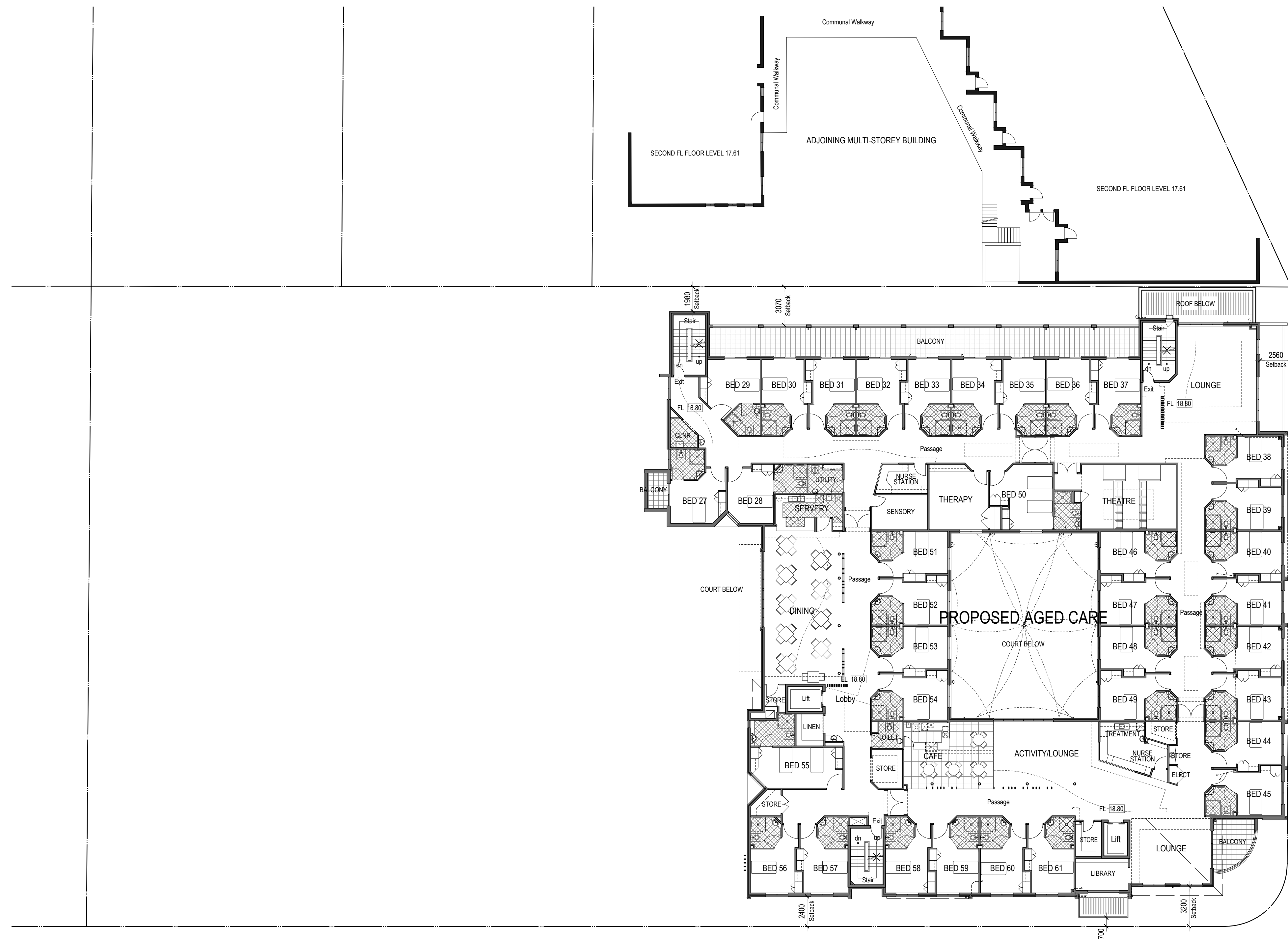
FIRST FLOOR PLAN 1:200



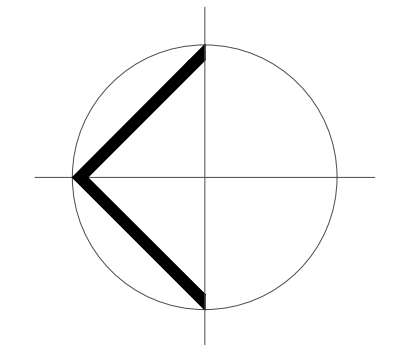
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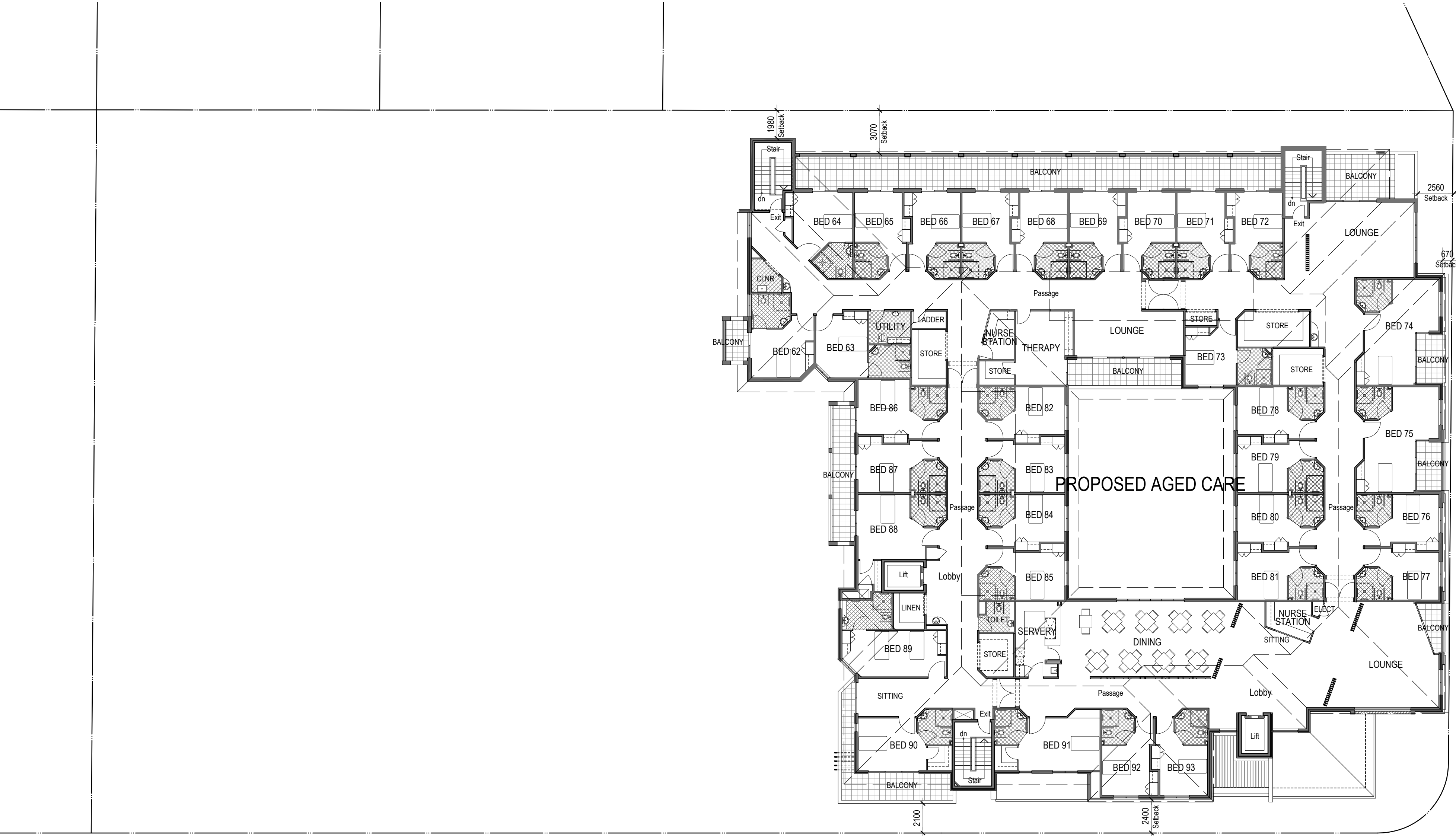
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SITE LOTS 54, 84 & 85 OLD PERTH ROAD BASSENDEAN TOWN OF BASSENDEAN ISSUE D.A.

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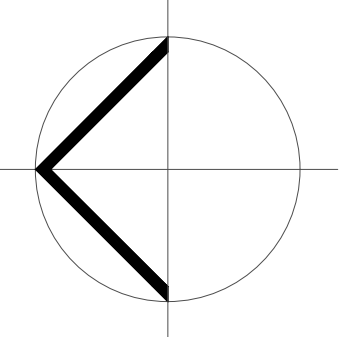


SECOND FLOOR PLAN 1:200





THIRD FLOOR PLAN 1:200



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THIRD FLOOR PLAN

CLIENT

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JOB

BASSENDEAN AGED CARE, ALTERATIONS AND ADDITIONS

SITE

LOTS 54, 84 & 85 OLD PERTH ROAD  
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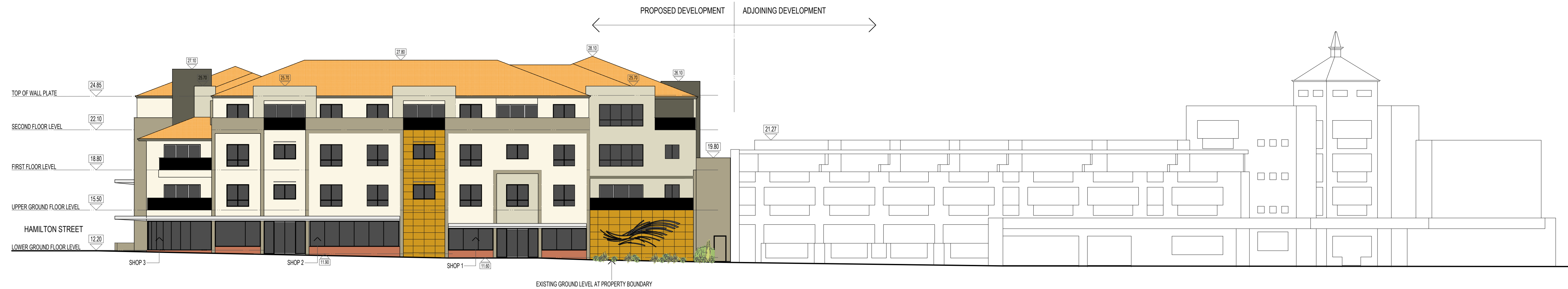
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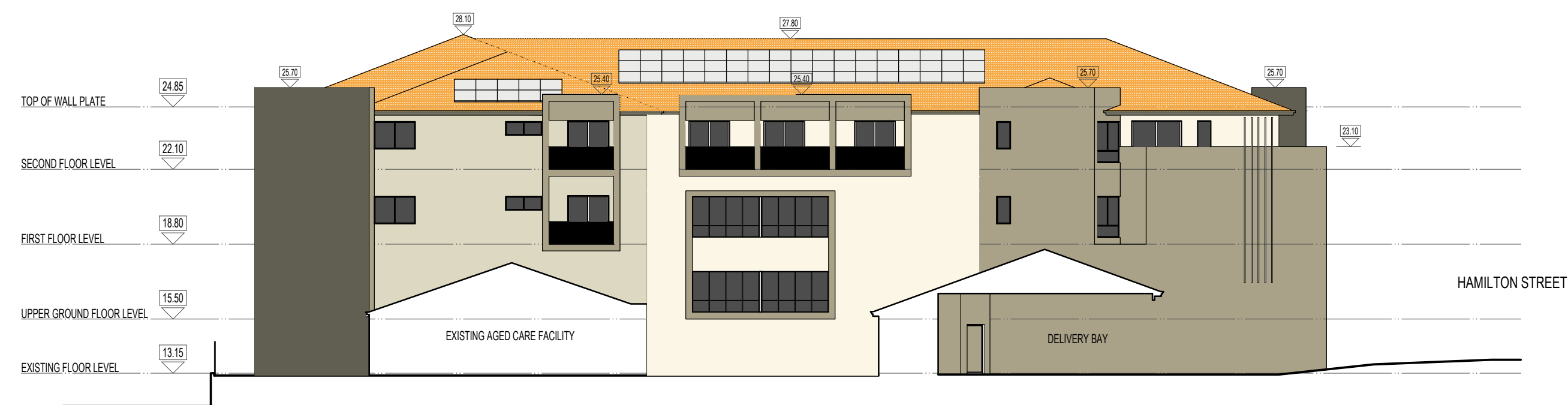


SOUTH ELEVATION (OLD PERTH ROAD)



WEST ELEVATION (HAMILTON STREET)

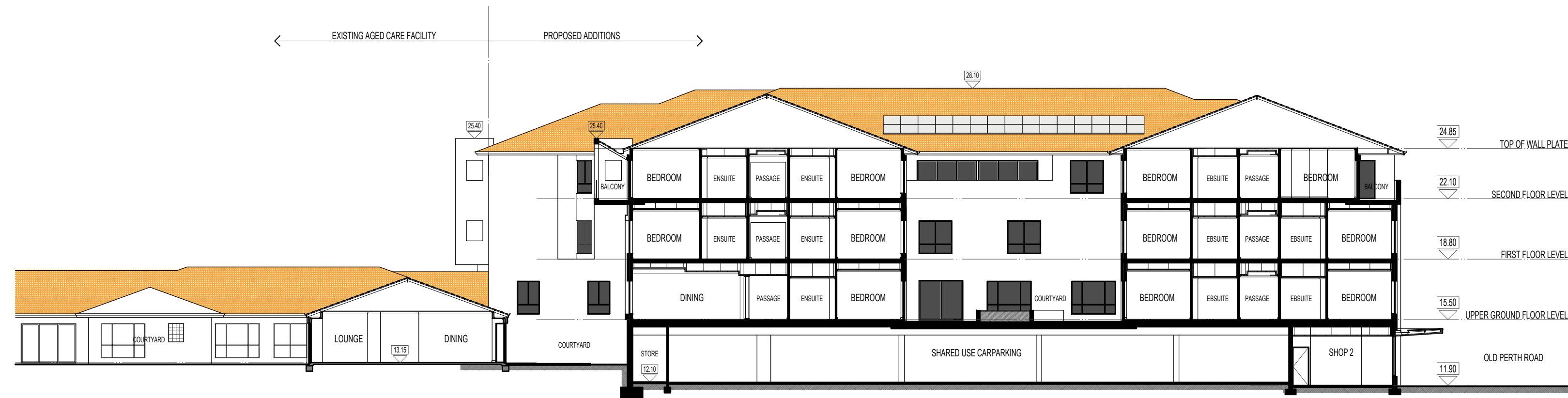




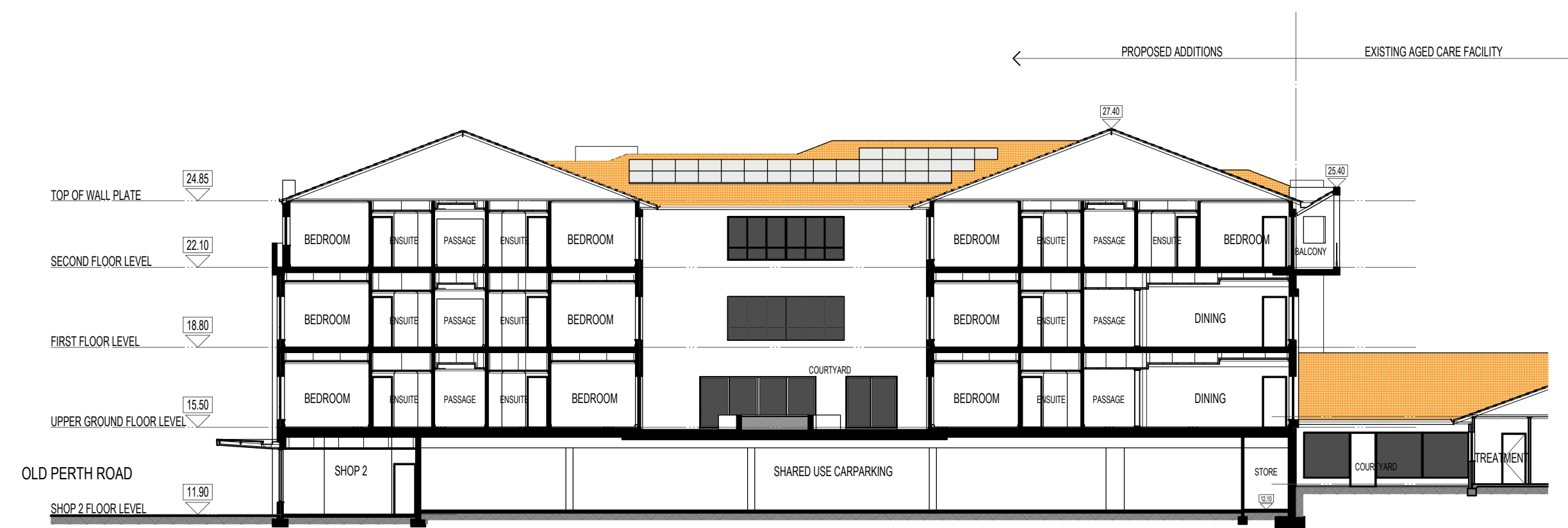
NORTH ELEVATION



EAST ELEVATION



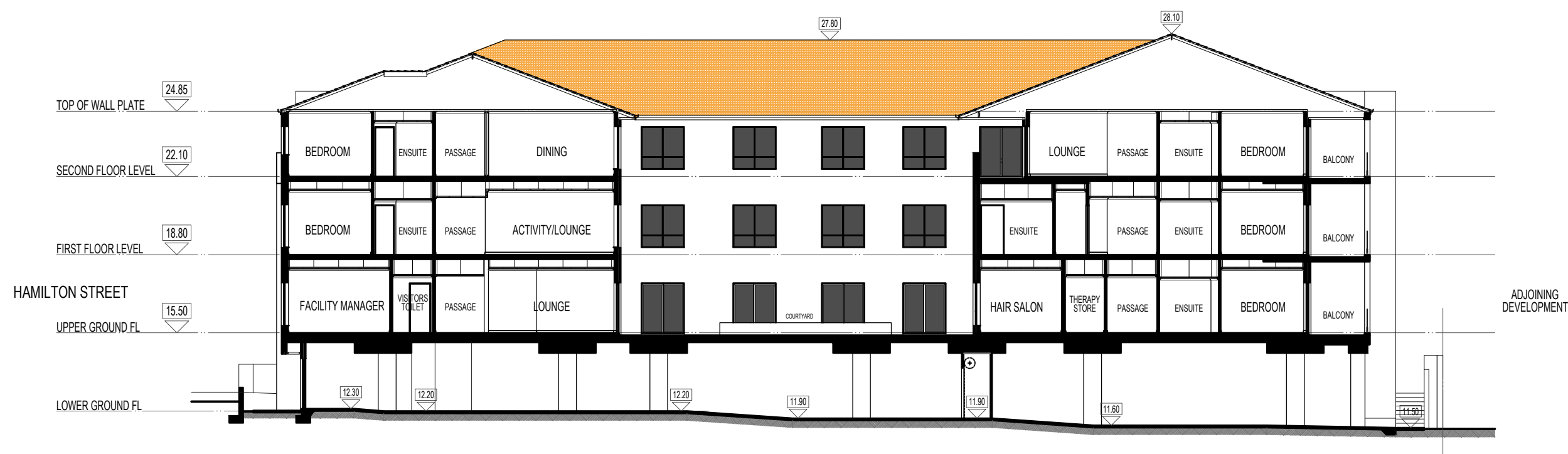
SECTION A



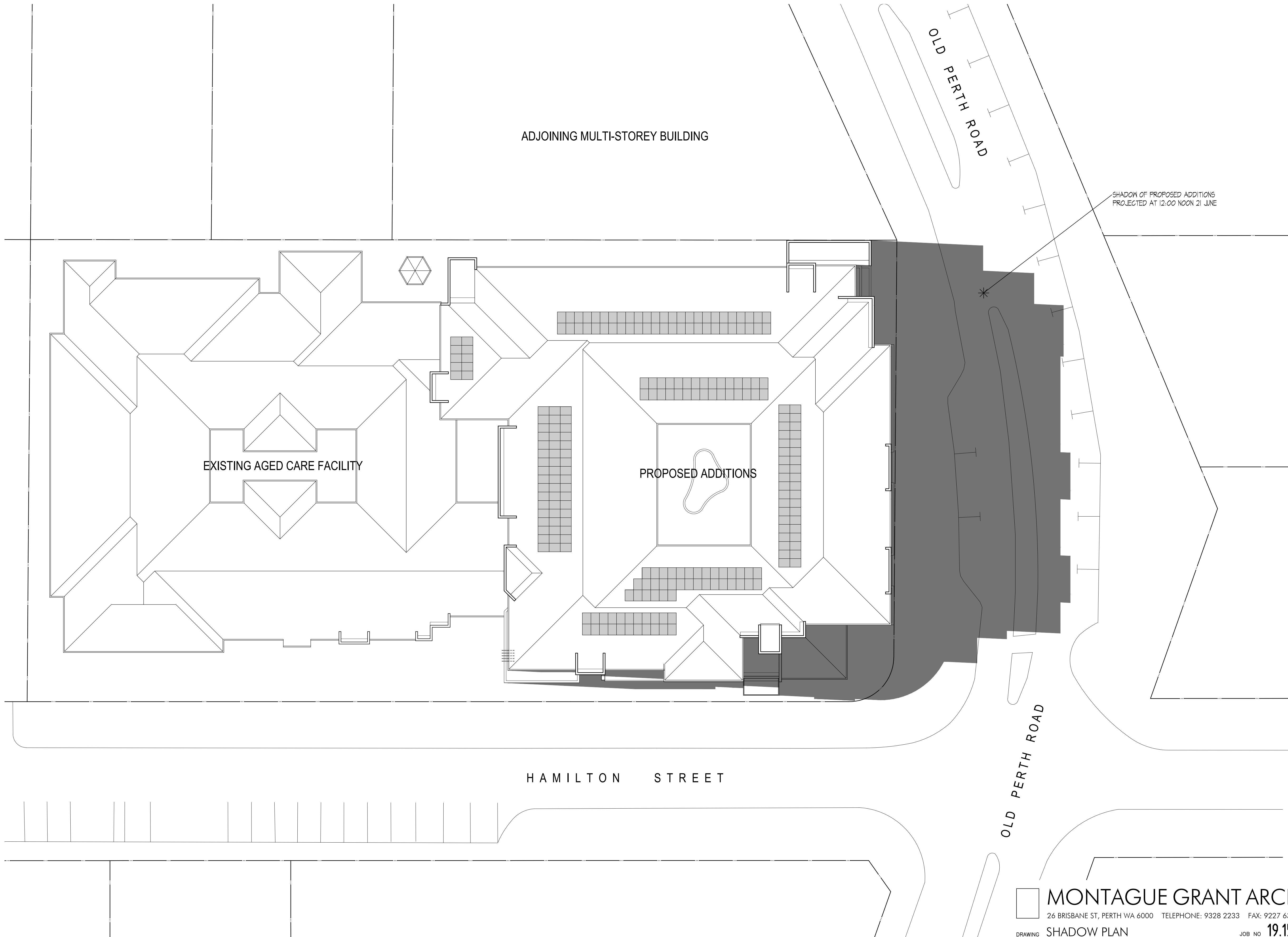
SECTION B



SECTION C



SECTION D



SHADOW PLAN 1:200

MONTAGUE GRANT ARCHITECTS PTY LTD  
26 BRISBANE ST, PERTH WA 6000 TELEPHONE: 9328 2233 FAX: 9227 6346  
A.C.N. 009 072 593

DRAWING

CLIENT

JOB

SITE

SHADOW PLAN

AGED CARE GROUP PTY LTD

BASSEDEAN AGED CARE, ALTERATIONS AND ADDITIONS

LOTS 54, 84 & 85 OLD PERTH ROAD  
BASSENDEAN  
TOWN OF BASSENDEAN

JOB NO

DRAWN

SCALES

19.15

MGA

1:200

DRG NO

DATE

ISSUE

SK11.

JULY 2020

D.A.

Contractor must verify all Dimensions before commencing Work or Shop Drawings

DRAWINGS MUST NOT BE SCALED

THIS DRAWING IS THE COPYRIGHT OF MONTAGUE GRANT ARCHITECTS PTY LTD EXCLUSIVELY



SCHEDULE OF FINISHES

PROJECT: BASSENDEAN AGED CARE, ALTERATIONS & ADDITIONS  
SITE: HAMILTON STREET & OLD PERTH ROAD, BASSENDEAN  
PROPRIETOR: AEGIS AGED CARE GROUP PTY LTD  
JOB NO: 19.15  
DATE: 13 JULY 2020

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**EXTERNAL**

<u>ITEM</u>	<u>MATERIAL</u>	<u>COLOUR</u>
Brick Walls generally	Painted sand finished render on clay brickwork	<ul style="list-style-type: none"><li>- Dulux 'Grand Piano' S15C1</li><li>- Dulux 'Stoney Creek S15A4'</li><li>- Dulux 'Powered Rock' S15A2</li><li>- Dulux 'Boycott' S15A7</li><li>- Dulux 'Very Terracotta' S08F8</li></ul>
Tile Faced Brick Walls	Glazed ceramic wall tiles on clay brickwork	Special 'Ochre' colour selected for this specific project.
Metal Roof Fascia and Eaves Gutter	Colorbond Steel	Colorbond 'Woodland Grey'
Tile Roofs	Terracotta Marseille pattern roof tiles	Terracotta Orange 'Natural Blend'
Window Frames	Powdercoat finished aluminium	'Charcoal Metallic'
Window Glazing generally	Low energy performance glass	'Solar Grey'
Shopfront Glazing	Low energy performance glass	'Clear'
Balcony Balustrading	Frameless toughened glass with stainless steel handrail.	Clear glass & polished stainless steel.

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# **ANNEXURE 1**

## *Certificates of Title*

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WESTERN



AUSTRALIA

**RECORD OF CERTIFICATE OF TITLE**  
UNDER THE TRANSFER OF LAND ACT 1893

REGISTER NUMBER	
<b>54/DP29092</b>	
DUPLICATE EDITION	DATE DUPLICATE ISSUED
<b>4</b>	<b>26/8/2011</b>

VOLUME  
**2514**FOLIO  
**597**

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.



REGISTRAR OF TITLES

**LAND DESCRIPTION:**

LOT 54 ON DEPOSITED PLAN 29092

**REGISTERED PROPRIETOR:**  
(FIRST SCHEDULE)

T & T MANAGEMENT SERVICES PTY LTD OF 90 GOODWOOD PARADE, BURSWOOD  
(T M397473 ) REGISTERED 9/9/2013

**LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:**  
(SECOND SCHEDULE)

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.  
\* Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.  
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

**STATEMENTS:**

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: DP29092  
PREVIOUS TITLE: 1786-751, 1992-275  
PROPERTY STREET ADDRESS: 27 HAMILTON ST, BASSENDEAN.  
LOCAL GOVERNMENT AUTHORITY: TOWN OF BASSENDEAN

NOTE 1: DUPLICATE CERTIFICATE OF TITLE NOT ISSUED AS REQUESTED BY DEALING  
L699107

NOTE 2: N115607 DEPOSITED PLAN 406625 LODGED



WESTERN



AUSTRALIA

**RECORD OF CERTIFICATE OF TITLE**  
UNDER THE TRANSFER OF LAND ACT 1893

REGISTER NUMBER	
<b>84/P1786</b>	
Duplicate Edition	DATE Duplicate Issued
<b>2</b>	<b>7/1/2015</b>

VOLUME  
**1631**FOLIO  
**156**

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.



REGISTRAR OF TITLES

**LAND DESCRIPTION:**

LOT 84 ON PLAN 1786

**REGISTERED PROPRIETOR:**  
(FIRST SCHEDULE)

T & T MANAGEMENT SERVICES PTY LTD OF 90 GOODWOOD PARADE, BURSWOOD  
(T M874673 ) REGISTERED 2/1/2015

**LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:**  
(SECOND SCHEDULE)

1. THE LAND THE SUBJECT OF THIS CERTIFICATE OF TITLE EXCLUDES ALL PORTIONS OF THE LOT DESCRIBED ABOVE EXCEPT THAT PORTION SHOWN IN THE SKETCH OF THE SUPERSEDED PAPER VERSION OF THIS TITLE. VOL 1631 FOL 156.

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.  
\* Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.  
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

**STATEMENTS:**

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 1631-156 (84/P1786)  
PREVIOUS TITLE: 1006-672  
PROPERTY STREET ADDRESS: 68 OLD PERTH RD, BASSENDEAN.  
LOCAL GOVERNMENT AUTHORITY: TOWN OF BASSENDEAN

NOTE 1: N115607 DEPOSITED PLAN 406625 LODGED





Transfer C 48802

WESTERN

AUSTRALIA

Volume 1006 Folio 672



1631 156

# CERTIFICATE OF TITLE

UNDER THE "TRANSFER OF LAND ACT, 1893" AS AMENDED



I certify that the person described in the First Schedule hereto is the registered proprietor of the undermentioned estate in the undermentioned land subject to the easements and encumbrances shown in the Second Schedule hereto.

Dated 5th November, 1982

REGISTRAR OF TITLES



## ESTATE AND LAND REFERRED TO

Estate in fee simple in portion of Swan Location Q1 and being part of Lot 84 on Plan 1786 (Sheet 2), delineated and coloured green on the map in the Third Schedule hereto.

## FIRST SCHEDULE (continued overleaf)

~~Peter William Radecski of Lot 141, Belmont Road, Baywater, Car Dealer.~~

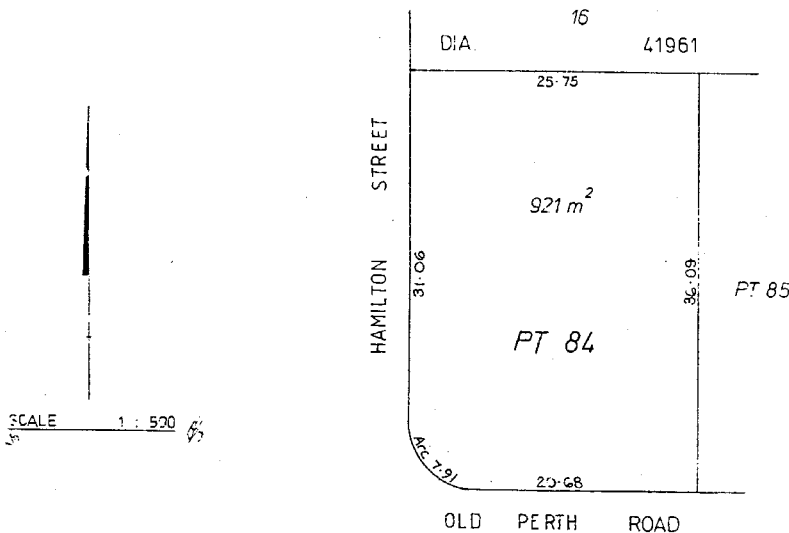
## SECOND SCHEDULE (continued overleaf)

~~1. MORTGAGE C448902 to Finance Corporation Limited. Registered 5.11.82 at 9.24 a.m.~~

Discharged C835657 14.8.84

REGISTRAR OF TITLES

## THIRD SCHEDULE



NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

72009/12/77-45M-S/2880

## FIRST SCHEDULE (continued)

NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT.  
ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

INSTRUMENT		REGISTERED PROPRIETOR		REGISTERED	TIME	SEAL	INITIALS
NATURE	NUMBER	NATURE	NUMBER				
<del>The correct address of the Registered Proprietor is now 284 Dagot Road, Subiaco.</del>		By	C835659	14.8.84	2.46		
Roger Alan Chapman of 76 Falls Road, Lesmurdie, Business Proprietor and Felix Kelly of 31 Battersea Way, Morley, Mechanical Engineer, as joint tenants.		Transfer	C971419	5.3.85	3.36		
Roger Alan Chapman of Unit 2/28 Canning Road, Kalamunda and Felix Kelly of 1/5 Heritage Cove, Maylands, as tenants in common in equal shares.		Transfer	G787235	27.5.98	9.29		

## SECOND SCHEDULE (continued)

NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT.  
ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

INSTRUMENT		PARTICULARS	REGISTERED	TIME	SEAL	INITIALS	CANCELLATION	NUMBER	REGISTERED OR LODGED	SEAL	INITIALS
NATURE	NUMBER										
Mortgage	C835658	to A.G.C. (General Finance) Ltd.	14.8.84	2.45			Discharged	C971417	5.3.85		
Mortgage	C835659	to Australian Guarantee Corporation Ltd., A.G.C. (General Finance) Ltd., and A.G.C. (Advances) Ltd.	14.8.84	2.46			Discharged	C971418	5.3.85		
Mortgage	C971420	to AMEV-UDC Finance Ltd.	5.3.85	3.37			Discharged	F55089	3.12.92		
Caveat	E472621	As to the interest of Roger Alan Chapman only : Lodged 23.10.90 at 15.00 hrs.	29.11.90	9.32			Lapsed by	F697859	11.10.94		
Memorial	E498625	Section 46 of the Land Tax Assessment Act 1976.					Withdrawn	E853058	8.4.92		
Caveat	E564112	Lodged 12.3.91 at 10.17 hrs.					Lapsed by	F697859	11.10.94		
Caveat	E571607	As to the interest of Roger Alan Chapman only. Lodged 22.3.91 at 10.53 hrs. Alan Chapman only: (Plaint 4603/91). Lodged 19.1.1993 at 15.32 hrs.					Withdrawn	F697860	11.10.94		
Warrant	F90225	As to the interest of Roger Alan Chapman only: (Plaint 4603/91). Lodged 19.1.94 at 11.21 hrs.					Withdrawn				
Warrant	F193387	As to the interest of Roger Alan Chapman only: (Plaint 4603/91). Lodged 19.5.1993 at 8.12 hrs.									
Warrant	F314836	As to the interest of Roger Alan Chapman only: (Plaint 4603/91). Lodged 22.9.93 at 11.21 hrs.									
Warrant	F428039	As to the interest of Roger Alan Chapman only: (Plaint 4603/91). Lodged 19.1.94 at 11.41 hrs.									
Warrant	F553159	As to the interest of Roger Alan Chapman only: (Plaint 4603/91). Lodged 18.5.94 at 11.37 hrs.									

CERTIFICATE OF TITLE VOL.

1631

156

**FIRST SCHEDULE (continued)**NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT.  
ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

REGISTERED PROPRIETOR		INSTRUMENT		REGISTERED	TIME	SEAL	INITIALS
NATURE	NUMBER	NATURE	NUMBER				

**SECOND SCHEDULE (continued)**NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT.  
ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

INSTRUMENT		PARTICULARS		REGISTERED	TIME	SEAL	INITIALS	REGISTERED OR LODGED	NUMBER	CANCELLATION
NATURE	NUMBER									
Re: Mortgage	F697859	Fourteen Days Notice sent on Caveats E472621 and E564112 on 30.11.94. Limit 19.12.94.		11.10.94	13.25			regd 27.5.98	F697859 G803510	No Action taken Mtge Discharged
Mortgage	F697859	to Louis Durand of 23 Haynes Street, Kalamunda								

9077/87-500-0150L

CERTIFICATE OF TITLE VOL. 1011 PA 157

**NOTE:** RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

**FIRST SCHEDULE (continued)**

REGISTERED PROPRIETOR	INSTRUMENT NATURE	INSTRUMENT NUMBER	REGISTERED	TIME	SEAL	INITIALS

NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

**SECOND SCHEDULE (continued)**[illegible]

2097718/71--500--O/SOL

CERTIFICATE OF TITLE VOL.

WESTERN



AUSTRALIA

**RECORD OF CERTIFICATE OF TITLE**  
UNDER THE TRANSFER OF LAND ACT 1893

REGISTER NUMBER	
<b>85/P1786</b>	
DUPLICATE EDITION	DATE DUPLICATE ISSUED
<b>2</b>	<b>7/1/2015</b>

VOLUME  
**1496**FOLIO  
**999**

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.



REGISTRAR OF TITLES

**LAND DESCRIPTION:**

LOT 85 ON PLAN 1786

**REGISTERED PROPRIETOR:**  
(FIRST SCHEDULE)

T & T MANAGEMENT SERVICES PTY LTD OF 90 GOODWOOD PARADE, BURSWOOD  
(T M874673 ) REGISTERED 2/1/2015

**LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:**  
(SECOND SCHEDULE)

1. THE LAND THE SUBJECT OF THIS CERTIFICATE OF TITLE EXCLUDES ALL PORTIONS OF THE LOT DESCRIBED ABOVE EXCEPT THAT PORTION SHOWN IN THE SKETCH OF THE SUPERSEDED PAPER VERSION OF THIS TITLE.

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.  
\* Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.  
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

**STATEMENTS:**

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 1496-999 (85/P1786)  
PREVIOUS TITLE: 411-52  
PROPERTY STREET ADDRESS: 70 OLD PERTH RD, BASSENDEAN.  
LOCAL GOVERNMENT AUTHORITY: TOWN OF BASSENDEAN

NOTE 1: N115607 DEPOSITED PLAN 406625 LODGED

Transfer B488874

WESTERN

AUSTRALIA

Volume 411 Folio 52



1496 999

## CERTIFICATE OF TITLE

UNDER THE "TRANSFER OF LAND ACT, 1893" AS AMENDED



I certify that the person described in the First Schedule hereto is the registered proprietor of the undermentioned estate in the undermentioned land subject to the easements and encumbrances shown in the Second Schedule hereto.

DATED 9th March, 1978

REGISTRAR OF TITLES

ESTATE AND LAND REFERRED TO

Estate in fee simple in portion of Swan Location Q1 and being part of Lot 85 on Plan 1786 (Sheet 2), delineated and coloured green on the map in the Third Schedule hereto.

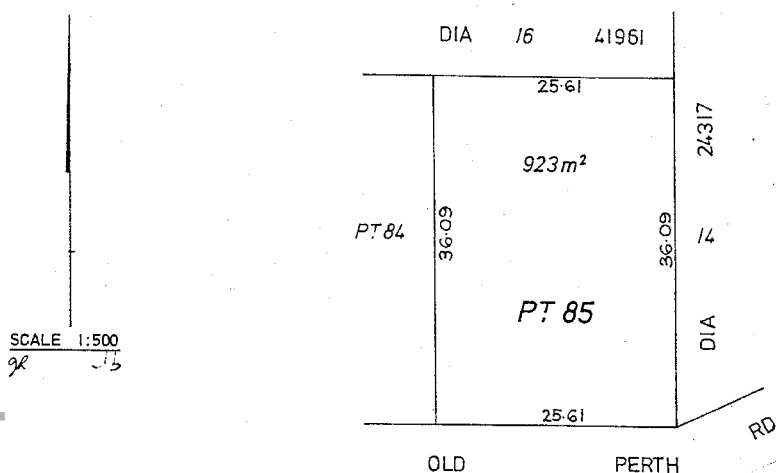
FIRST SCHEDULE (continued overleaf)

~~William John Cavanagh of 5/215 Harbourne Street, Wembley and Gordon Charles Godwin of 6 Cabramatta Street, Bayswater, Car-Dealers, as tenants in common in equal shares.~~

SECOND SCHEDULE (continued overleaf)

1. ~~MORTGAGE B488875 to Custom Credit Corporation Limited. Registered 9.3.78 at 10.35 a.m.~~  
~~Discharged B615897 9.1.79~~

REGISTRAR OF TITLES

THIRD SCHEDULE

NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

53083/12/75-20M-S/2860

PERSONS ARE CAUTIONED AGAINST ALTERING OR ADDING TO THIS CERTIFICATE OR ANY NOTIFICATION HEREON

## FIRST SCHEDULE (continued)

NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT.  
ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

INSTRUMENT		REGISTERED PROPRIETOR		INSTRUMENT		REGISTERED		TIME		SEAL		INITIALS	
NATURE	NUMBER	NATURE	NUMBER	NATURE	NUMBER	NATURE	NUMBER	NATURE	NUMBER	NATURE	NUMBER	NATURE	NUMBER
Mortgage	B645998	to B & W Mutual Investments Limited.		Transfer	G366791	1.6.82	12.03						
Mortgage	B807674	to Custom Credit Corporation Limited.		Transfer	G448802	5.11.82	9.24						
Memorial	C811995	Section 46 of Land Tax Assessment Act 1976		By	G835659	14.8.84	2.46						
Mortgage	G448803	to Alliance Acceptance Co. Limited.		Transfer	C971419	5.3.85	3.36						
Mortgage	G835658	to A.G.C. (General Finance) Ltd.		Transfer	G787235	27.5.98	9.29						
Mortgage	G835659	to Australian Guarantee Corporation Ltd., A.G.C. (General Finance) Ltd., and A.G.C. (Advances) Ltd.											
Mortgage	C971420	to AMEV-UJC Finance Ltd.											
Caveat	E473313	As to the interest of Roger Alan Chapman only. Lodged 23.10.90 at 15.00 hrs.											
Memorial	E498625	Section 46 of the Land Tax Assessment Act 1976. Lodged 12.3.91 at 10.17 hrs.											
Caveat	E564111	As to the interest of Roger Alan Chapman only. Lodged 22.3.91 at 10.53 hrs.											
Caveat	E571607	As to the interest of Roger Alan Chapman only. Lodged 19.1.1993 at 15.32 hrs.											
Warrant	F90225	As to the interest of Roger Alan Chapman only. Lodged 19.1.1993 at 15.32 hrs.											
Warrant	F193387	As to the interest of Roger Alan Chapman only. Lodged 19.1.1993 at 15.32 hrs.											

## SECOND SCHEDULE (continued)

NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT.  
ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

INSTRUMENT		PARTICULARS		REGISTERED		TIME		SEAL		INITIALS		REGISTERED OR LODGED		SEAL		INITIALS	
NATURE	NUMBER	NATURE	NUMBER	NATURE	NUMBER	NATURE	NUMBER	NATURE	NUMBER	NATURE	NUMBER	NATURE	NUMBER	NATURE	NUMBER	NATURE	NUMBER
Mortgage	B645998	to B & W Mutual Investments Limited.		Discharge	C448800	5.11.82											
Mortgage	B807674	to Custom Credit Corporation Limited.		Discharge	C448801	5.11.82											
Memorial	C811995	Section 46 of Land Tax Assessment Act 1976		Withdrawn	C162657	22.6.81											
Mortgage	G448803	to Alliance Acceptance Co. Limited.		Discharged	C835657	14.8.84											
Mortgage	G835658	to A.G.C. (General Finance) Ltd.		Discharged	C971417	5.3.85											
Mortgage	G835659	to Australian Guarantee Corporation Ltd., A.G.C. (General Finance) Ltd., and A.G.C. (Advances) Ltd.		Discharged	C971418	5.3.85											
Mortgage	C971420	to AMEV-UJC Finance Ltd.		Discharged	F55089	3.12.92											
Caveat	E473313	As to the interest of Roger Alan Chapman only. Lodged 23.10.90 at 15.00 hrs.		Lapsed by	F697859	11.10.94											
Memorial	E498625	Section 46 of the Land Tax Assessment Act 1976. Lodged 12.3.91 at 10.17 hrs.		Withdrawn	E853058	8.4.92											
Caveat	E564111	As to the interest of Roger Alan Chapman only. Lodged 22.3.91 at 10.53 hrs.		Lapsed by	F697859	11.10.94											
Caveat	E571607	As to the interest of Roger Alan Chapman only. Lodged 19.1.1993 at 15.32 hrs.		Withdrawn	F697860	11.10.94											
Warrant	F90225	As to the interest of Roger Alan Chapman only. Lodged 19.1.1993 at 15.32 hrs.															
Warrant	F193387	As to the interest of Roger Alan Chapman only. Lodged 19.1.1993 at 15.32 hrs.															

CERTIFICATE OF TITLE VOL.

1495 999



NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

REGISTERED PROPRIETOR	INSTRUMENT NATURE	INSTRUMENT NUMBER	REGISTERED
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**SECOND SCHEDULE (continued)**

NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

PATIENT		PARTICULARS	REGISTERED	TIME	SEAL	INITIALS	CANCELLATION	NUMBER	REGISTERED OR
NUMBER									

9761871-500-0150L

CERTIFICATE OF TITLE VOL. 1496 999



**FIRST SCHEDULE (continued)**

NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

REGISTERED PROPRIETOR	INSTRUMENT DATE	REGISTERED NUMBER	TIME	SEAL	INITIALS

## SECOND SCHEDULE (continued)

NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

[illegible]

0976/8/71-500-0/SOL

CERTIFICATE OF TITLE VOL. 1496

999

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# **ANNEXURE 2**

## *Photographs*

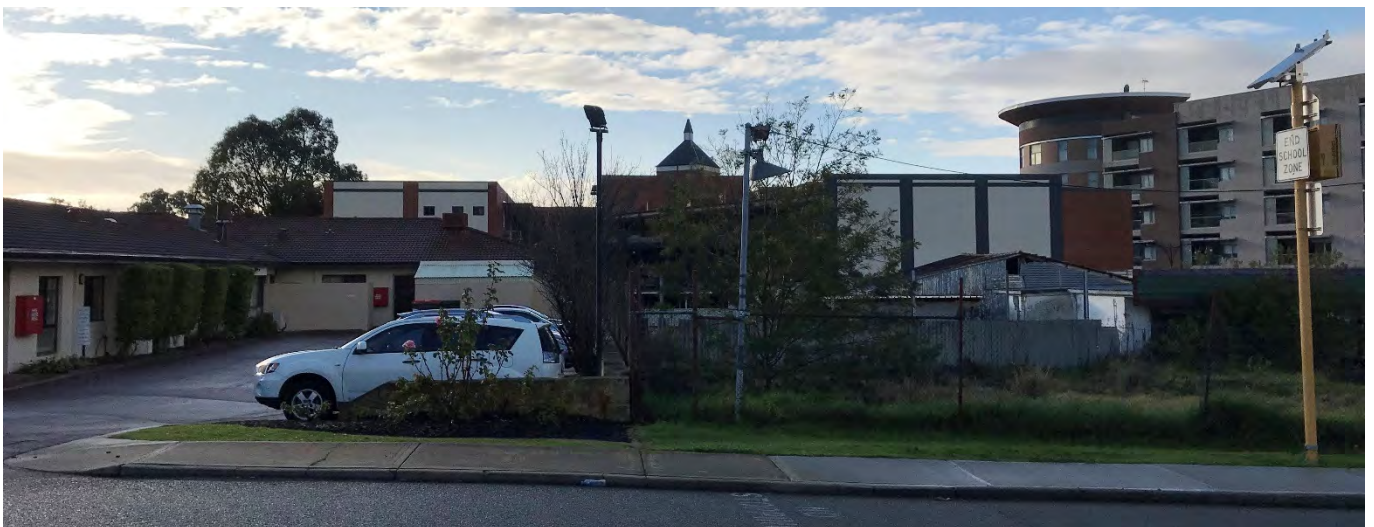
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Photograph 1: Looking east from Hamilton Street at the existing Aegis facility on Lot 54.



Photograph 2: Looking south along Hamilton Street standing in front of the Aegis facility on Lot 54.



Photograph 3: Looking east at the current boundary between Lot 54 and the soon to be amalgamated rear boundaries of Lots 85 and 85 Old Perth Road.





Photograph 4: Looking north from Old Perth Road towards the subject properties.



Photograph 5: Looking north west at the dilapidated buildings on Lot 85 Old Perth Road and more recent adjacent apartment development (Whitfield).



Photograph 6: Looking in a westerly direction along the main street of Old Perth Road at the modern apartment developments with ground floor commercial tenancies situated on properties in close proximity to the subject land. (Note: The Whitfield development adjoins the subject property.)

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## **ANNEXURE 3**

### *Table 4*

### *Local Planning Policies Compliance Table*

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TABLE 4: LOCAL PLANNING POLICIES, COMPLIANCE TABLE				
PROVISION		REQUIREMENT	PROPOSAL	PLANNING FRAMEWORK COMPLIANCE
1.0	Mixed Use Development	<b>Town Centre Strategy:</b> <b>Clause 7.4 – Development Type and Intensity:</b> An increased intensity of residential and mixed-use development is encouraged in the town centre.	The proposed extension of the Aged Care Facility involves the construction of a four-storey building with a frontage to Old Perth Road. The additional aged care beds are proposed on the upper floor levels, with three (3) shop tenancies designed at street level to provide the necessary activation of the built form with the public realm.	The development is compliant.
2.0	Building Size and Height	<b>Town Centre Strategy:</b> <ul style="list-style-type: none"> <li>- Clause 7.5 refers to a building envelope requirement. An agreed envelope of the footprint and height is to define development on each lot.</li> <li>- A maximum height of five (5) storeys is set for buildings on lots fronting Old Perth Road, subject to streetscape, shadowing and overlooking issue.</li> </ul>	<ul style="list-style-type: none"> <li>- The building proposes a four (4) storey height.</li> <li>- The balconies of the upper two floor levels of the Facility are proposed to be set back from the eastern boundary shared with the Whitfield development by 3.07m), which maintains the same setback of the previously approved development.</li> </ul>	The development is compliant.
3.0	Plot Ratio	<b>Town Centre Strategy:</b> No plot ratio is assigned.	The approved development had a plot ratio of 2.0. As the revised development no longer contains a residential component, the plot ratio is not relevant to the consideration of this proposal.	The development is compliant.
3.0	Solar Access	<b>Town Centre Strategy:</b> Clause 7.5 refers to a building envelope requirement, noting that rear setbacks should be provided suitable to accommodate parking and avoid overshadowing of neighbouring buildings.	<ul style="list-style-type: none"> <li>- All shadow is cast towards and contained within the Old Perth Road reserve.</li> <li>- Rear setbacks are not applicable, as noted in the previous Town's assessment, as the development forms a southern extension to the existing Aged Care Facility and the shadow of the extended development is cast in the opposite direction and is entirely contained within the boundaries of the Old Perth Road reservation.</li> <li>- Refer to attached Shadow Diagram (DWG No. SK11).</li> </ul>	The development is compliant.
4.0	Street Setbacks	<b>Town Centre Strategy:</b> <ul style="list-style-type: none"> <li>- Clause 7.5: building envelope requirement. Development should generally have a NIL setback to the front and side boundaries.</li> <li>- Residential entry foyers at ground level are permitted to have a NIL setback.</li> </ul>	<b>Ground Floor</b> <ul style="list-style-type: none"> <li>- The ground floor Shop tenancies of the development fronting Old Perth Road are proposed with a NIL setback, which maintains the same setbacks of the previously approved JDAP development.</li> </ul> <b>First Floor</b> <ul style="list-style-type: none"> <li>- A varied setback is proposed for the first-floor level frontage to Old Perth Road, with two (2) generously sized balconies with glazed balustrading proposed at the eastern and western ends of this frontage. These balconies together with the architectural detailing and varied colour scheme ensure appropriate articulation of the built form is maintained at the same high standard as approved under the previous JDAP Application.</li> <li>- The eastern most balcony has a width of 2.4m and extends along the frontage of Old Perth Road for a length of 8.6m. This balcony is accessible from the shared internal lounge space.</li> <li>- The western most balcony is designed with views towards the intersection of Old Perth Road and Hamilton Street. This balcony is setback 1.4m from Old Perth Road and 3.2m from Hamilton Street. It is proposed with</li> </ul>	The development is compliant.

			<p>a curved glazed balustrading, providing a setback of 3.0m to the corner intersection. This curved balustrading follows the line of the ground floor awing, adding visual interest to the built form. The balcony is generously sized with widths ranging from 4.3m and 5.2m and is similarly accessible from a shared lounge space.</p> <ul style="list-style-type: none"> <li>- The first-floor level setback to Hamilton Street maintains the same 2.4m setback for the majority of this frontage, with the exception of the lounge which is setback a greater distance at 3.2m, in accordance with the previously approved JDAP development.</li> </ul> <p><b>Second and Third Floor Levels</b></p> <ul style="list-style-type: none"> <li>- The setbacks of the second and third floor levels of the development to Old Perth Road have been modified to respond to the specific needs of the frail aged residents of the Facility. These needs include ensuring views from the internal bedrooms to Old Perth Road and Hamilton Street and solar access are maximised. Notwithstanding this, the design ensures a suitable varied setback is maintained across the built form to create visual interest through the built structure.</li> <li>- The second and third floors of the building maintain the 2.4m setback to Hamilton Street, with appropriate articulation provided through sections of increased setback and architectural detailing, which reflects the same level of architectural relief and detailing as contained in the design previously approved by JDAP.</li> <li>- The third-floor level has a varied setback to Old Perth Road. It ranges between NIL and 2.56m and includes balconies for use associated with Bedrooms 74 and 75. The remaining balconies proposed on this level are for shared use and accessible via the internal lounge areas.</li> <li>- The third-floor level proposes a 2.56m setback at the eastern end of the frontage to Old Perth Road and substantial setbacks at the Old Perth Road and Hamilton Street corner of the site, providing visual relief and interest to the built form.</li> <li>- The set back of the third-floor level to Hamilton Street maintains a similar varied setback to the previously approved development, with setbacks ranging between 2.5m and 8.4m.</li> </ul>	
4.0	Rear setbacks Visual Privacy	<p><b>Town Centre Strategy:</b> <b>Clause 7.5 states,</b> Rear setbacks from residential adjoining should provide for privacy and comply with R Code requirements.</p>	<p>The WAPC has granted conditional approval for the amalgamation of the existing Aged Care Facility lot with the two lots to be redeveloped for the proposed extension of this use. The rear boundary of the (WAPC approved) amalgamated site is relevant in considering the rear setback. In this regard, the rear setback of the existing Facility is to remain unchanged. The new building extension is however appropriately set back at the upper levels to ensure a seamless transition between the existing Facility fronting Hamilton Street and the new built form fronting Old Perth Road. In this way, the rear-built form of the proposed extension of the development is designed to appropriately respond to the existing facility, to ensure it comfortably fits within the existing landscape and streetscape pattern of both Hamilton Street and Old Perth Road.</p> <p>The eastern side boundary of the amalgamated site is shared with the Whitfield apartment development. It is the only common boundary shared with an adjoining development.</p> <p>The Whitfield development has a three (3) storey high parapet wall. This wall extends along the common boundary shared with the development site for 22 metres, with the remainder of the boundary being a roofed car parking area which extends along the remainder of the shared boundary.</p> <p>The proposed development has a parapet wall on the common boundary extending north from the Old Perth Road frontage for a distance of 9.4 metres</p>	The development is compliant.



			<p>(to a height of 8.6m). This section of the development conceals some of the essential utilities for the development and ensures a NIL setback is provided to appropriately address the NIL setback of the adjacent development, thereby creating a consistent streetscape pattern, when viewed from Old Perth Road.</p> <p>The design of the development no longer includes the residential apartment use component. The design of the development along the shared boundary with the adjacent Whitfield development remains unchanged however, with the balconies proposing the same 3.07m setback distance to this boundary, as previously approved by JDAP.</p> <p>As stated in the previous detailed assessment undertaken by the Town and notwithstanding that the proposed development no longer contains the residential apartments, it is relevant to note that the overall separation distance between the proposed development and the adjacent habitable rooms of the Whitfield development is 9.5 metres, which exceeds the deemed-to-comply requirements of the R Codes.</p>	
5.0	Vehicle Access	<p><b>Town Centre Strategy:</b></p> <p><b>Clause 7.9 states,</b></p> <ul style="list-style-type: none"> <li>- Vehicle crossovers to onsite parking should be accessed from the secondary street frontage and not Old Perth Road.</li> <li>- Parking should be located to the rear or below the building.</li> <li>- Crossover should be limited a single access (3.0m to 6.0m wide) per development site.</li> <li>- Crossovers should match the footpath colour.</li> <li>- Service and delivery should be provided discretely and in minimal space.</li> </ul>	<p>A new crossover for access and egress is proposed to an onsite, secure car parking facility on Hamilton Street (secondary street frontage). This single access crossover replaces the two (2) existing crossovers associated with the two (2) lots fronting Old Perth Road, which are approved for amalgamation with existing Aged Care Facility on Hamilton Street.</p> <p>The existing crossover for the Aged Care Facility is to be retained on Hamilton Street for servicing deliveries and waste collection associated with the Aged Care Facility.</p> <p>The two (2) crossovers are separated by a distance of 10.2 metres.</p> <p>The vehicle access proposed remains the same as approved under the previous development.</p>	<p>The development complies with the Town Centre Strategy, noting in particular:</p> <ul style="list-style-type: none"> <li>- Access is restricted to the secondary street frontage of Hamilton Street. No direct vehicle access to the development is proposed to Old Perth Road.</li> <li>- Two (2) crossovers are provided, to ensure delivery trucks are separated from standard vehicle movements associated with the facility, ensuring safe access and egress.</li> <li>- The two (2) crossovers extend over a significant boundary frontage length (145m).</li> <li>- The new crossover is proposed at a distance of 10.2 metres, which provides adequate separation from the intersection of Hamilton Street and Old Perth Road.</li> <li>- The new driveway access to the on-site parking facility is designed for two-way access.</li> <li>- The new crossover to the extended part of the development replaces the two existing crossovers to the two lots, approved for amalgamation.</li> </ul>
6.0	Car and bicycle parking	<p><b>Town Centre Strategy:</b></p> <p><b>Clause 7.9 states</b> that car parking is to be provided consistent with Local Planning Scheme No. 10 and should include parking for motorcycles and scooters to encourage use.</p> <p><b>LPS 10</b> indicates the following car parking ratio requirements:</p> <p><i>Nursing Home: 1 bay per 5 beds</i></p> <p><i>Shops: 8 bays per 100m<sup>2</sup> GFA.</i></p> <p><b>SPP 4.2:</b></p> <p><i>Shops: 4-5 bays per 100m<sup>2</sup> GFA</i></p> <p><b>Bicycle parking:</b></p> <p>As referenced in LPS 10 as being required by the local government in some circumstances to encourage cycling. The Town required the previously approved development to include</p>	<p>A <i>Traffic Impact Statement (TIS)</i> was prepared by Transcore to support the previously approved development on the land. The vehicle access proposal remains unchanged from the previous development. The revised development proposal has resulted in a reduction in the number of bays required to support the mix of uses. The total number of bays required is now satisfied on-site, without any need to consider a variation to the standards. The conclusions of this TIS remain relevant, given the modified development proposal will further reduce the impact of traffic on the surrounding network, and therefore the Town has indicated its preliminary agreement to accepting the earlier TIS as sufficient for the assessment of this revised proposal.</p> <p><b>Car Parking:</b></p> <p><b>Aged Care/Nursing Home:</b> The total number of beds to be provided (including the existing and proposed extension of the Facility) is 136 beds. This suggests that a total of 27 car bays are required for the Aged Care Facility.</p> <p><b>Shops:</b> A total of 260m<sup>2</sup> GFA is proposed. Therefore, a total of 21 bays are required to support this particular use of the development.</p>	<p>A total of 48 bays are required for shared use, including one (1) accessible bay.</p> <p>The proposed on-site parking facility provides a total of 49 car bays including one (1) accessible bay, which is more than sufficient to support the proposed uses of this development.</p> <p>The development is compliant.</p>

		<p>four (4) bicycle racks, providing parking for eight (8) bicycles.</p> <p><b>Motorcycle/scooter parking:</b></p> <p>As referenced in SPP 4.2, motorcycle parking should be provided at 5-10% of total number of bays provided.</p>	<p><b>Bicycle Parking:</b></p> <p>Four (4) bicycle racks are provided within the secured parking facility, in accordance with the previous JDAP approval.</p> <p><b>Motorcycle/scooter parking:</b></p> <p>A total of 4 motorcycle/scooter bays are provided within the basement car park, in accordance with the previous JDAP approval.</p>	
7.0	Landscaping	<p>Town Centre Strategy:</p> <p><b>Clause 7.10 states,</b></p> <ul style="list-style-type: none"> <li>- All spaces around buildings are to be designed to offer attractive amenity for users and passers-by.</li> </ul>	<p>A Landscaping Plan was supported by the Town's Parks and Gardens Supervisor and subsequently approved by JDAP as part of the previous development proposal.</p> <p>This Landscaping Plan is attached, as previously approved.</p>	The development is compliant.
8.0	Built Form	<p><b>Town Centre Strategy:</b></p> <p><b>Clause 8.2: Building Character states,</b></p> <p><i>Buildings should reflect contemporary lifestyle, function and materials and not mimic historic styles.</i></p> <p><i>Buildings should have a proportion and scale appropriate to their location and respecting neighbouring buildings.</i></p>	<p>The proposed development has been designed as a modern, contemporary development, and responds appropriately to its setting within a town centre environment.</p> <p>The proposed development is also complementary to surrounding development which is of a similar urban scale.</p>	The development is compliant.
9.0	Facades	<p><b>Town Centre Strategy:</b></p> <p><b>Clause 8.3 states,</b></p> <p><i>Ground floor facades should be distinctive from the upper levels.</i></p> <p><i>Circulation spaces such as stairs and foyers should be positioned and glazed to add activity that is visible from the street.</i></p> <p><i>Glazing of facades is encouraged to provide visibility between inside and outside of building.</i></p>	<p>The high-quality architectural design of the development remains unchanged from the previously approved built form. It incorporates the same level of articulation through the incorporation of windows and balconies with glazed balustrading, material and colour changes through the built form and contrasting feature walls, which combine to offer visual interest and a high level of interaction between the development and the public domain.</p> <p>Glazing of the shopfront facades has been included to maximise visibility to the pedestrian footpaths.</p> <p>External sun shading through the use of a mostly continuous awning is proposed for the development, as previously approved.</p> <p>The stairwell adjacent to the Hamilton Street frontage of the development is retained as part of this revised development proposal, and as previously approved. In the formal assessment of the previous Application, the Town formed the view that the stairwell occupied only a small proportion of the façade to Hamilton Street and was considered acceptable as shown on the plans, given the substantial proportion of the remaining façade is designed with windows and glazed balcony treatments which ensures an appropriate level of activation is provided between the internal and external areas of the building, in accordance with the Strategy.</p>	The development façade retains the fundamental design elements of the earlier approved building and therefore continues to present as a compliant and high-quality built form outcome.
10.0	Roof Form	<p><b>Town Centre Strategy:</b></p> <p><b>Clause 8.4 states,</b></p> <p><i>Pitched roofs should respect and be consistent with roofs in close proximity.</i></p>	<p>The design of the proposed development includes a pitched, terracotta tiled roof to match the existing Aged Care Facility, providing for continuity in built form with the existing aged care facility and the also the surrounding roof forms of the St Joseph's Catholic School and the predominant roof forms of the residential area to the north of the site.</p> <p>In addition, wall panels are incorporated to project above the eave line in some areas, to add visual interest to the built form and to present as a contemporary form to the Town Centre.</p>	The development is compliant.

			<p>The roof form of the building is well designed, with an open-air element above the central courtyard on the ground floor. This design provides for additional solar access to the internal space.</p> <p>Solar panels form part of the development, to maximise energy efficiency.</p>	
11.0	Old Perth Road Frontage	<p><b>Town Centre Strategy:</b></p> <p><b>Clause 8.5 states,</b></p> <p><i>Non-residential and mixed-use buildings shall have nil setbacks to Old Perth Road frontage.</i></p> <p><i>Mixed-use buildings should have predominantly non-residential ground floor frontages to Old Perth Road, with the exception of common foyers or home-based studios/offices.</i></p> <p><i>Glazed shopfronts are required in retail and commercial buildings.</i></p> <p><i>Old Perth Road facades should have a minimum of 80% clear glazed area at ground level.</i></p> <p><i>Blank walls longer than 2.0m at street level are not permitted.</i></p> <p><i>Upper levels of buildings fronting Old Perth Road should include functional sized balconies.</i></p> <p><i>All frontages on Old Perth Road shall be well illuminated.</i></p> <p><b>Local Planning Policy 15 (LPP) – Percent for Art Policy</b></p>	<p>The proposed development ensures the Town Centre is provided with an activated frontage to Old Perth Road through the inclusion of non-residential uses at ground level in the form of three (3) shop tenancies.</p> <p>These shop tenancies are proposed with a NIL setback to Old Perth Road, together with non-residential uses at ground level.</p> <p>Glazed shopfronts are proposed for these tenancies, which provides for passive surveillance and maximum activation of the frontage to Old Perth Road.</p> <p>The eastern end of the building frontage to Old Perth Road is the only section of frontage with a solid wall aspect. This wall is necessary to shield the essential services for the building including the transformer compound, fire pump room and fire escape/fire tanks.</p> <p>This wall forms part of the previous JDAP approval granted for the development. A balcony is proposed above the wall on the first floor with glazed balustrading. A piece of public art is proposed to be attached to this wall to ensure it presents to Old Perth Road as an interesting and engaging element of the built form. The public art component is to be designed to the satisfaction of the Town and in accordance with the relevant provisions of <i>Local Planning Policy 15 – Percent for Art Policy</i>.</p> <p>The upper level frontages of the building on the Old Perth Road frontage include balconies as appropriate for the use of the building as an aged care facility.</p> <p>The upper levels of the building frontages to Old Perth Road and Hamilton Street include a high level of articulation and colour variation in order to maximise visual interest in the built form. These design attributes combine with functional balconies incorporating glazed balustrading and appropriate illumination during the evening hours to achieve an excellent design outcome for this location within the Town Centre.</p>	The development is compliant.
12.0	Building Entry	<p><b>Town Centre Strategy:</b></p> <p><b>Clause 8.6 states</b></p> <p><i>The primary building entrance should be clearly identifiable and visible from the primary street.</i></p> <p><i>Other entrances should be scaled and designed according to their function and frequency of use.</i></p> <p><i>Entrances can be set back from the street with external treatments being consistent with the adjacent streetscape.</i></p> <p><i>Pedestrian shelter, signage and lighting should be provided at primary entrances.</i></p>	<p>The proposed development provides the main building entrance to the aged care facility at a clearly identifiable location on Hamilton Street, close to the corner of Old Perth Road.</p> <p>The main entrance is set back from Hamilton Street, with footpath connection and landscaped environs.</p> <p>The main entrance area is legible and lit at night for pedestrian amenity and safety.</p>	The development is compliant.
13.0	Awnings, Canopies and Balconies	<p><b>Town Centre Strategy:</b></p> <p><b>Clause 8.7 states</b></p> <p><i>All active commercial and retail frontages in the west and east ends along Old Perth Road should have continuous pedestrian shelter over the footpath.</i></p>	<p>The proposed development includes a continuous awning along the commercial frontage of the building at ground level, extending from the pedestrian entrance on Hamilton Street to the eastern end of the frontage, to provide for pedestrian shelter.</p> <p>Balconies and extensive window outlooks are proposed at the upper levels of the building to overlook the public domain areas for passive surveillance</p>	The development is compliant.

		<p><i>Residential and mixed-use buildings shall have pedestrian shelter such as awnings or canopies over entrances.</i></p> <p><i>Balconies and terraces are encouraged on street facades in residential and mixed-use buildings.</i></p> <p><i>Balconies should have predominantly open balustrades.</i></p> <p><i>Up</i></p> <p><i>Awnings, canopies and balconies should:</i></p> <p><i>Have minimum clearance to footpath of 2.7 metres;</i></p> <p><i>Have minimum extension out from building of 2.5 metres;</i></p> <p><i>Relate in height/ design to adjoining canopies/ awnings;</i></p> <p><i>Consider signage locations and dimensions.</i></p> <p><i>Provision and maintenance of canopies and awnings over the footpath is the responsibility of the building owner.</i></p>	<p>opportunities, whilst still maintaining an appropriate level of privacy for the aged and frail residents.</p> <p>The 3D perspectives of the development demonstrate the high-quality built form outcome for the site and the considerable measures taken to ensure an appropriate transition between the public and private domain is successfully achieved, so as to positively contribute to the streetscape and amenity of the Town Centre.</p> <p>The awnings achieve the minimum clearance to the footpath and extend out at least 2.50m.</p>	
14.0	Materials and Colour	<p><b>Town Centre Strategy:</b></p> <p><b>Clause 8.8 states</b></p> <p><i>Respond to neighbouring buildings with complimentary colours and materials.</i></p> <p><i>A limited palette of external colours and building materials should be used to ensure building harmony. Generally, use neutral, subtle colours for long lasting surface finishes and use bright colours only as accent and for surfaces that will be repainted or finished regularly.</i></p> <p><i>High quality durable materials that have acceptable levels of weathering and wear are preferred to materials that require constant maintenance.</i></p> <p><i>Use of tilt- up concrete is discouraged unless carefully detailed, finished and given relief in the wall plane.</i></p> <p><i>Use of highly reflective glazing is not permitted. Samples of reflective/ tinted coatings shall accompany any development application and will be to satisfaction of the Town of Bassendean.</i></p> <p><i>Strong and bright colours may be approved subject to durability, where council considers that proposed use of colour will contribute to the character of the town centre in a positive way.</i></p>	<p>The proposed development provides a balanced range of colours and materials to ensure building harmony. Refer to the attached <b>Schedule of Materials and Finishes</b>.</p>	<p>The development is compliant.</p>
15.0	Signage and Public Art	<p><b>Town Centre Strategy:</b></p> <p><b>Clause 8.9 states:</b></p>	<p>No signage is proposed at this stage.</p> <p>Signage Applications will be submitted separately by prospective tenants of the shop tenancies.</p>	<p>The development is compliant.</p>

		<p>Refer to public art policy and master plan and commercial advertising signage policy.</p> <p>A public realm contribution of 2% of the building construction cost will be required for development in the Bassendean Town Centre. This includes the provision of public art.</p> <p>All building signage will be of a high standard and generally not exceeding 5% of the building wall area to which it is affixed.</p> <p>Signage suspended below awnings, canopies or balconies or cantilevered will have a minimum clearance above footpath level of 2.7m.</p> <p>Signage shall not obscure display windows by more than 5% of the area.</p>	Public art will be undertaken in accordance with the agreement as approved for the previous development.	
16.0	Utilities	<p><b>Town Centre Strategy:</b></p> <p>Cl. 8.10 All plant and equipment must be concealed from public view using screening or other means that is an integral part of the building design. Surface mounted services, piping and conduits will not be permitted.</p> <p>Roof mounted equipment, aerials, antennas, masts etc must be screened from all views including from above where applicable.</p>	<p>The site is serviced with power, water, gas, wastewater, fire services and telecommunications services.</p> <p>The utilities, plant and equipment (including air conditioning units and bin stores), are designed so that they accessible but not visible from the street or open spaces within the development.</p>	The development is compliant.
17.0	Stormwater Management	<p><b>Town Centre Strategy:</b></p> <p>All stormwater shall be contained on site or connected to drainage points where supplied.</p> <p><b>Local Planning Policy (LPP 14)</b> states that at a minimum, the development is required to be designed to accommodate a 1:20 year storm event.</p>	The Stormwater Drainage Management Plan submitted with the Application prepared by BPA Engineering Civil and Structural Consultants confirms that the Town's requirement for the development to accommodate a 1:20 storm event on site with discharge to the Town's system only occurring where a storm event beyond 1:20 years is experienced is able to be satisfied. The design is to incorporate a below ground storage tank, which corresponds with the requirements for the adjoining Whitfield development.	The development is compliant.
18.0	Waste management	<p><b>Town Centre Strategy:</b></p> <p>Cl. 7.9 Consideration should be given to location, access to and storage of recycling and other rubbish bins including communal bin facilities.</p> <p>Cl. 9.3 All waste storage and delivered goods should be contained within buildings. Rubbish storage and collection shall comply with the current general requirements of the Town of Bassendean and will be efficient, convenient and allow for collection of recyclable material.</p>	<p>A Waste Management Plan (WMP) prepared by Aurora and submitted with the original Application details the waste management arrangement.</p> <p>This WMP has been reviewed in the context of the revised proposed, which removes the over 55 years residential dwelling component and extends the number of aged care beds.</p> <p>Detail of the revised WMP is included in the Application report at Section 4.1.</p>	The development is compliant.
19.0	Safety and Security	<p><b>Town Centre Strategy:</b></p> <p>Cl. 9.5 states that solid fencing above 0.8m is discouraged on street frontages</p>	<p>A minor variation to a section of wall adjacent to the emergency exit door and stairs on the Hamilton Street frontage is proposed as part of this Application.</p> <p>This wall section is proposed with a minor variation in height ranging from 1.2m to 1.5m, for a total length of approximately 6.0m. This section of fencing is provided for security at this point of exit. Approval is therefore sought for this minor variation.</p>	The approval of this small section of wall along the Hamilton Street frontage with a minor additional height range of 700mm to 400mm to ensure the emergency exit door is visually shielded from the public realm is respectfully sought.

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**ANNEXURE 4**  
*Traffic Impact Statement*  
*Transcore*

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# **Proposed Aged Care Facility Extensions**

## **27 Hamilton Street & 68-70 Old Perth Road, Bassendean**

### **Transport Impact Statement**

**The TIS has not been updated to reflect the modified development as it would produce no different conclusions to that which it currently contains, as noted at Section 4.2 of Planning Application Report.**

**PREPARED FOR:**  
**Aegis Aged Care Group**

**February 2018**



## Document history and status

Author	Revision	Approved by	Date approved	Revision type
Paul Gbantous	r01	P Gbantous	09/09/17	Final
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# 1.0 Introduction

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This Transport Impact Statement has been prepared by Transcore on behalf of Aegis Aged Care Group with regards to the proposed Aged Care Facility (ACF) extensions, located at Lot 54 (27) Hamilton Street & Lots 84-85 (68-70) Old Perth Road, Bassendean, in the Town of Bassendean.

The subject site is located at the north-east corner of the intersection of Old Perth Road and Hamilton Street, as shown in Figure 1.

As shown in Figures 1 & 2, the existing ACF is bound by Hamilton Street to the west, residential properties to the north, existing development to the east and vacant land to the south. The existing land to the south previously accommodated a car sales yard.

The proposed development entails a five (5) storey building, with a basement car park, three (3) shop tenancies at street level with primary frontages to Old Perth Road, two (2) levels of aged care accommodation providing a total of 64 beds and two (2) upper floor levels of residential Over-55's apartments (18 multiple dwellings). The new development incorporates a connection to the existing Aged Care Facility at the upper ground level.

The existing Aged Care Facility at Lot 54 Hamilton Street includes 46 aged care beds which will be reduced to 39 aged care beds when the construction of the new aged care extension begins.

In the post development situation, 39 aged care beds will be accommodated in the existing facility, with 64 new aged care beds being accommodated in the extension (total 103 aged care beds).

The key issues that will be addressed in this report include the traffic generation and distribution of the proposed development, access and egress movement patterns, and access to the site for alternative modes of transport.



**Figure 1: Location of the subject site**

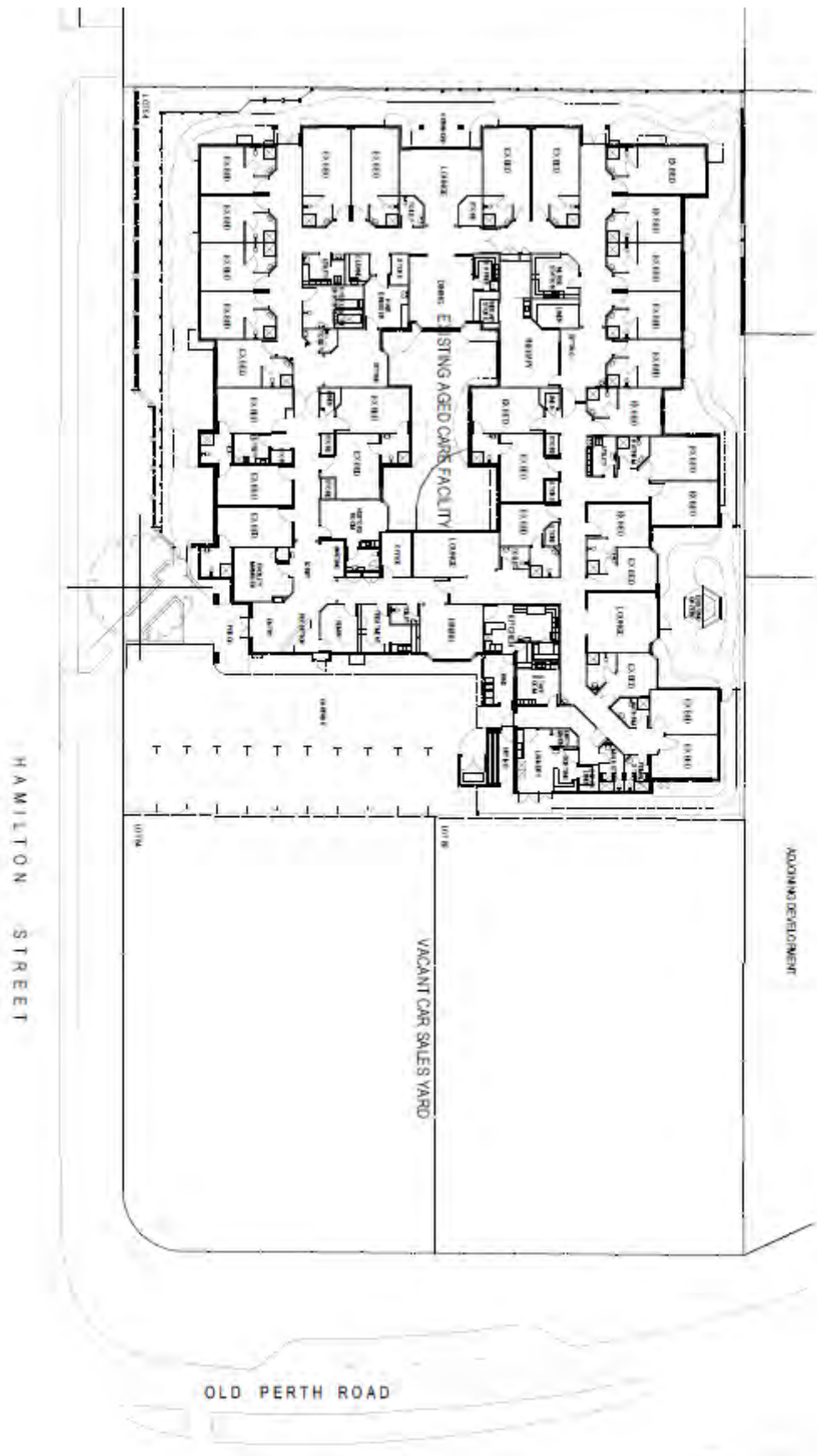


Figure 2: Existing situation

## 2.0 Proposed Development

---

The proposal for the subject site is for extension of the aged care facility (ACF), comprising:

- ✚ Three new shop tenancies on the lower ground level (total floor area of 219m<sup>2</sup>);
- ✚ Lower ground level car park providing a total of 52 car bays, 4 motorcycle bays and 4 bicycle racks;
- ✚ Net addition of 57 care beds in the new building upper ground and First floor levels (total of 103 beds post-development);
- ✚ Integration with the existing facility on the upper ground level; and,
- ✚ 18 over 55's residential apartments on the second and third floors.

The existing ACF crossover on Hamilton Street serving the existing 11 car bays and loading area is proposed to be retained. Construction of the ACF extensions will require the removal of the 11 existing car parking bays on the ground level, however the existing location of the Hamilton Street crossover and loading area will be retained.

Waste collection, delivery and other service vehicle activity for the ACF will be accommodated within the site in the loading area accessed from the existing Hamilton Street crossover, similar to existing arrangements.

Pedestrians will access the development from the external footpath network abutting the site.

The proposed development plans are included for reference in Appendix A.



## 3.0 Vehicle Access and Parking

### 3.1 Access

Vehicular access to the existing ACF is provided via an existing crossover on Hamilton Street (Figure 3). This crossover is currently used to access 11 car bays and the loading / waste collection area. The crossover is proposed to be retained as part of the development for service vehicle and waste collection access only. The 11 existing car bays will be removed as part of the proposal.



**Figure 3: Existing Hamilton Street crossover**

Vehicle access to the existing vacant car sales yard is via one crossover at the corner of Hamilton Street and Old Perth Road (Figure 4) and one crossover on Old Perth Road at the eastern end of the site (Figure 5).



**Figure 4: Existing crossover on Hamilton Street/Old Perth Road**



**Figure 5: Existing crossover on Old Perth Road**

It is proposed to close the existing Old Perth Road crossover located at the eastern end of the site.

The crossover at the intersection of Hamilton Street / Old Perth Road is also proposed to be closed and relocated on Hamilton Street further north of the intersection. The proposed relocated crossover on Hamilton Street will provide access to the proposed new lower ground level car park as detailed on the development plans.

### **3.2 *Parking Demand and Supply***

The existing 11 on site car bays are proposed to be removed as part of the development. A new lower ground floor car park is proposed to be constructed providing a total of 52 car bays allocated as following:

- 18 bays for 18 residential apartments;
- 5 bays for residential visitors;
- 1 general visitor bay;
- 1 ACROD bay; and,
- 27 shared use bays for ACF and shop staff and visitors.

It is also proposed to provide four (4) motorcycle bays and four (4) bicycle racks in the lower ground floor car park.

Three (3) on-street bays are currently in place on Old Perth Road adjacent to the site.

The information in Table 1 has been extracted from the planning application report prepared by Peter Webb & Associates (document reference - C2062appln3DA) regarding the parking requirements as set out in the Local Planning Scheme:

The existing ACF and post development extensions will result in a total calculated parking requirement of 61.5 bays.

A total of 55 bays will be available within the site and on-street adjacent to the site on Hamilton Street and Old Perth Road. The proposed development will entail a minor shortfall from the LPS parking requirement.

**Table 1: LPS parking assessment**

<b>Use Class</b>	<b>Ratio</b>	<b>Calculation</b>	<b>Proposed</b>
<b>Nursing Home</b>	1 bay per 5 beds	103 beds = 21 bays	
<b>Shop</b>	8 bays per 100m <sup>2</sup> GFA	219m <sup>2</sup> GFA = 17.5 bays	
<b>Multiple Dwellings</b>	1 bay per dwelling plus 0.25 visitor bays per dwelling	18 dwellings = 18.5 bays 18 dwellings = 4.5 visitor	
<b>Total Required</b>		<b>61.5</b>	
<b>TOTAL PROVIDED</b>			<b>52</b>

Source: Peter Webb & Associates, 31 July 2017

## 4.0 Provision for Service Vehicles

---

Waste collection for the Aged Care Facility will be by a private contractor as per the existing situation.

Collection will occur at the existing crossover location to Hamilton Street in the designated “delivery bay”. A bin store is adjacent to that delivery bay.

Waste collection trucks will reverse into the bay as per existing operations since 2003.

Service trucks will also use the delivery bay crossover and driveway only. No trucks will be required to access the site via the proposed new lower ground level car park crossover. A service/goods lift is provided from the delivery bay down to the lower ground level to service deliveries to the shops and bring bins up from the basement waste management room.

The existing crossover and delivery bay driveway has accommodated service vehicles satisfactorily since the ACF was developed in 2003.

Swept path analysis has been undertaken to confirm satisfactory truck movements and is presented in Appendix B of this report.

Waste collection for the Over 55's Apartment component will be from Old Perth Road, undertaken by the Town's Waste Collection team. A caretaker of the facility will ensure that general waste and recycling bins are placed onto the street verge on collection day.

Waste collection for the Shop tenancies will be by the Town's Waste Collection team, through the use of conventional rubbish and recycling bins. Tenants will have access to the bin store. The caretaker will be responsible for placing the shop bins onto the Old Perth Road street verge on collection days.

## 5.0 Hours of Operation

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Based on Transcore's experience with multiple aged care facilities, the afternoon staff changeover typically occurs at around 3:00pm, with the morning care staff departing the site and evening care staff arriving.

There are several schools and other community facilities in the locality. Therefore, the peak traffic period is anticipated to occur sometime between 2:00pm and 4:00pm, when school traffic and the Aged Care Facility staff changeover overlaps.

Transcore traffic surveys at the intersection of Old Perth Road / Hamilton Street undertaken on 5 September 2017 confirmed that the afternoon peak hour on Hamilton Street adjacent to the site occurs between 2:45pm and 3:45pm.

# 6.0 Daily Traffic Volumes and Vehicle Types

## 6.1 Existing Traffic Flows

A traffic turning movement survey was undertaken at the intersection of Old Perth Road / Hamilton Street on Tuesday 5 September 2017. The survey was undertaken between the hours of 2:00pm and 4:00pm, and established that the afternoon peak hour occurs between 2:45pm and 3:45pm.

The surveyed existing peak our traffic volumes are detailed in Figure 6.

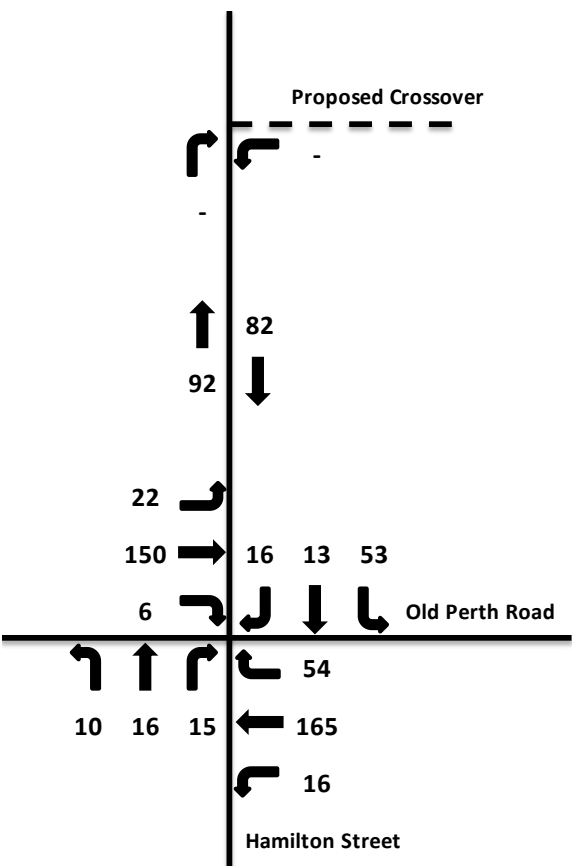


Figure 6: Existing traffic flows near subject site (survey results) – Weekday PM peak hour

## 6.2 Traffic Generation

### 6.2.1 Proposed Development Traffic Generation

The traffic volume that will be generated by the proposed residential apartments, additional care facility beds and shop land uses has been estimated using trip generation rates derived from the Roads and Traffic Authority of New South Wales Guide to Traffic Generating Developments (2002) and the updated trip rates in the RTA TDT 2013/ 04a.

As detailed in Table 2, the proposed development is estimated to generate an additional 417 daily vehicle trips and 45 trips during the PM peak hour.

These trips include both inbound and outbound vehicle movements. It is anticipated that most of the vehicle types would be passenger cars and to a lesser extent 4WDs.

Table 2 is based on the following directional split assumptions:

✚ PM peak split estimated at 50%/50% inbound/outbound.

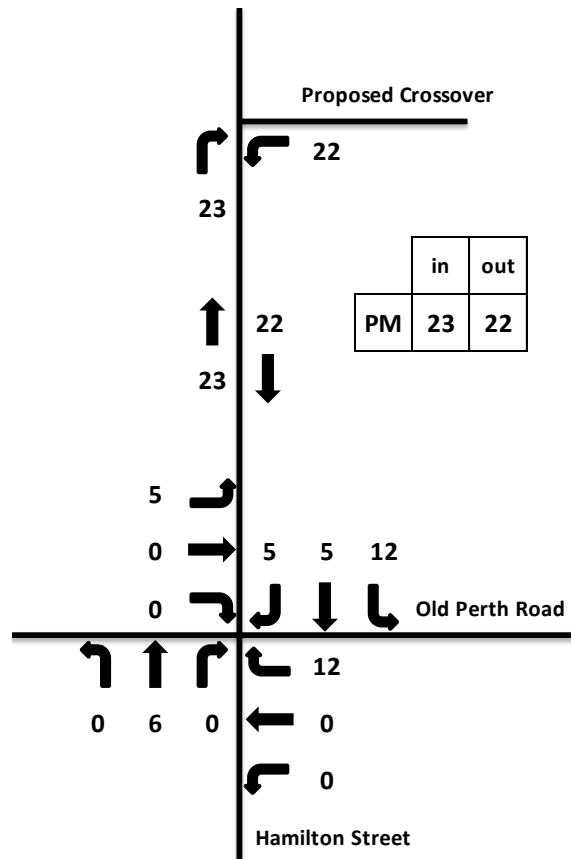
**Table 2. Additional peak hour trips generated by the proposed development**

Land use	Quantity	Daily Rate	PM Peak Rate	Daily Trips	PM Trips	PM Peak Trips	
						IN	OUT
Residential Units	18	2.1	0.4	38	7	4	3
Additional ACF Beds	57	2	0.2	114	11	5	6
Shop - Retail <10,000m <sup>2</sup>	219	1.21	0.125	265	27	14	13
<b>Total</b>				<b>417</b>	<b>45</b>	<b>23</b>	<b>22</b>

The distribution of traffic has been modelled based on the existing PM peak hour traffic flows at the intersection of Old Perth Road / Hamilton Street.

The distribution of the additional proposed development traffic is detailed in Figure 7. All traffic shown in Figure 7 is assumed to enter and exit the subject site via the proposed development crossover on Hamilton Street.





**Figure 7: Additional traffic generated by the proposed development – Weekday PM peak hour**

### 6.3 Impact on Surrounding Roads

The WAPC *Transport Impact Assessment Guidelines for Developments* (2016) provides the following guidance on the assessment of traffic impacts:

*“As a general guide, an increase in traffic of less than 10 percent of capacity would not normally be likely to have a material impact on any particular section of road, but increases over 10 percent may. All sections of road with an increase greater than 10 percent of capacity should therefore be included in the analysis. For ease of assessment, an increase of 100 vehicles per hour for any lane can be considered as equating to around 10 percent of capacity. Therefore, any section of road where development traffic would increase flows by more than 100 vehicles per hour for any lane should be included in the analysis.”*

The proposed aged care facility extensions will not increase traffic flows on any roads adjacent to the site by the quoted WAPC threshold of +100vph to warrant further analysis.

Therefore, the impact on the surrounding road network is minor.

## 7.0 Traffic Management on the Frontage Streets

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**Hamilton Street** near the subject site is an approximately 6.7m wide, two-lane undivided road. A combination of 90-degree and parallel on-street parking bays are marked on the road.

Hamilton Street is classified as an *Access Road* in the Main Roads WA *Functional Road Hierarchy* and operates under a default built-up area speed limit of 50km/h. A 40km/h school zone is in place between the hours of 7:30 am to 9:00 am and 2:30 pm to 4:00 pm on school days.

Footpaths are provided on both sides of the road. Traffic counts undertaken by Transcore on 5 September 2017 indicated that Hamilton Street carried 221 vehicles (two-way trips) during the peak afternoon period between 2:00pm and 4:00pm.

It is estimated that Hamilton Street carries average weekday traffic flows of around 1,500 vehicles per day.

**Old Perth Road** near the subject site is an approximately 15m wide, two-lane divided road with a raised, kerbed and vegetated central median. Parallel on-street parking bays are provided on both sides of the road and the road surface is treated with red asphalt.

Old Perth Road is classified as a *Local Distributor Road* in the Main Roads WA *Functional Road Hierarchy* and operates under a sign posted speed limit of 40km/h.

Footpaths are provided on both sides of the road. Traffic counts undertaken by Transcore on 5 September 2017 indicated that Old Perth Road carried 752 vehicles (two-way trips) during the peak afternoon period between 2:00pm and 4:00pm.

It is estimated that Old Perth Road carries average weekday traffic flows below 4,000 vehicles per day.

## 8.0 Public Transport Access

The subject site has access to the following bus services:

- Bus Service 55: Perth – Bassendean via Guildford Rd & Lord St.

Bus service 55 runs along Old Perth Road adjacent to the subject site. The nearest bus stop is located near the intersection of Old Perth Road / Hamilton Street. This bus service also provides connectivity to the rail network at Bassendean Train Station.

Nearby public transport services are shown in Figure 8.

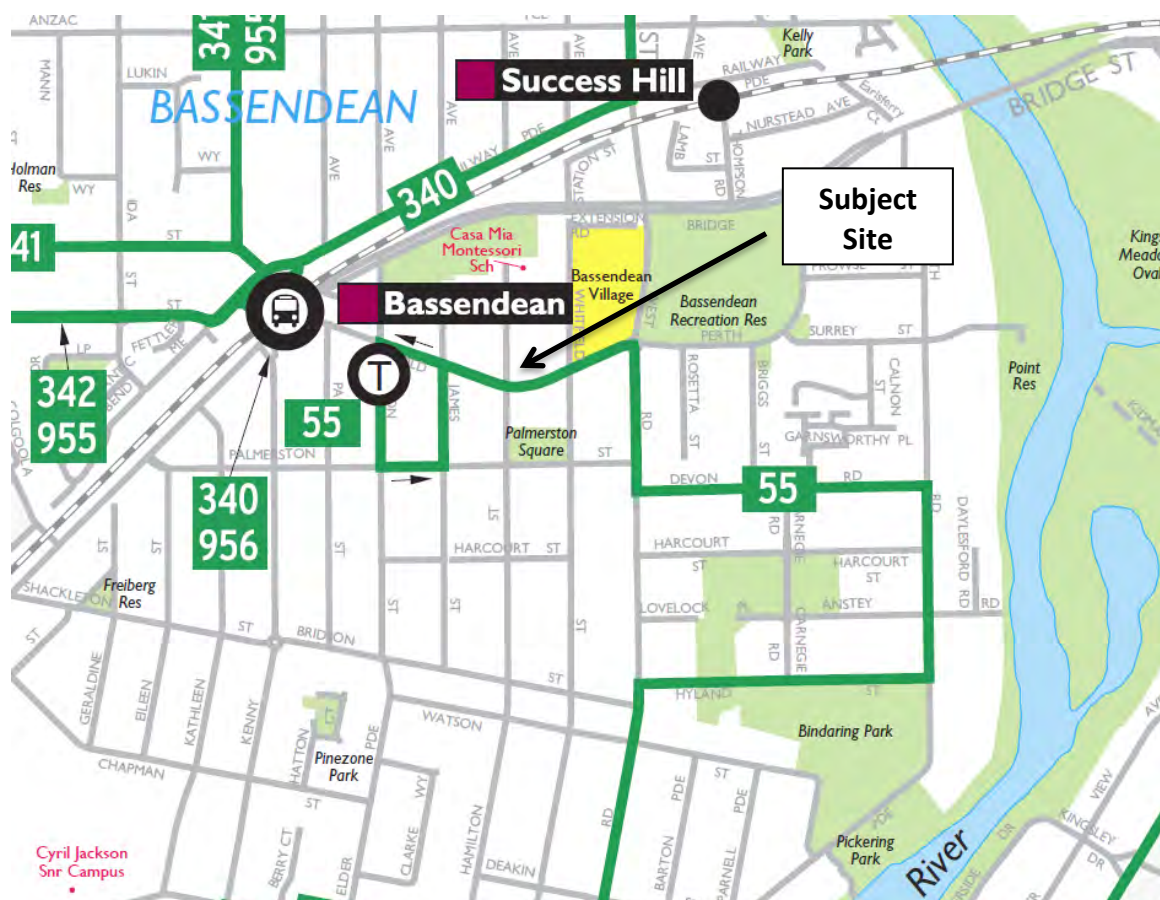


Figure 8: Public transport services (Transperth Maps)

## 9.0 Pedestrian Access

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Pedestrian access to the proposed development is via the existing external footpath network running along the road frontages of the site.

## 10.0 Cycle Access

The Perth Bicycle Network Map (see Figure 9) shows the existing cyclist connectivity to the subject site.

The PSP running alongside the rail line is accessible a short distance to the north and west. Old Perth Road forms part of a walking trail through Bassendean.



Figure 9: Extract from Perth Bicycle Network (Department of Transport)

## 11.0 Site Specific Issues

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No site specific issues were identified within the scope of this assessment.

## 12.0 Safety Issues

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No safety issues were identified within the scope of this assessment.



## 13.0 Conclusions

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This Transport Impact Statement has been prepared by Transcore on behalf of Aegis Aged Care Group with regards to the proposed Aged Care Facility (ACF) extensions, located at Lot 54 (27) Hamilton Street & Lots 84-85 (68-70) Old Perth Road, Bassendean, in the Town of Bassendean.

The site features good connectivity with the existing road and pedestrian network. There is good public transport coverage through nearby bus services.

The traffic analysis undertaken in this report shows that the traffic generation of the proposed development is minimal (less than 100vph on any lane) and as such would have insignificant impact on the surrounding road network.

It is concluded that the findings of this Transport Impact Statement are supportive of the proposed aged care facility extensions.

# Appendix A

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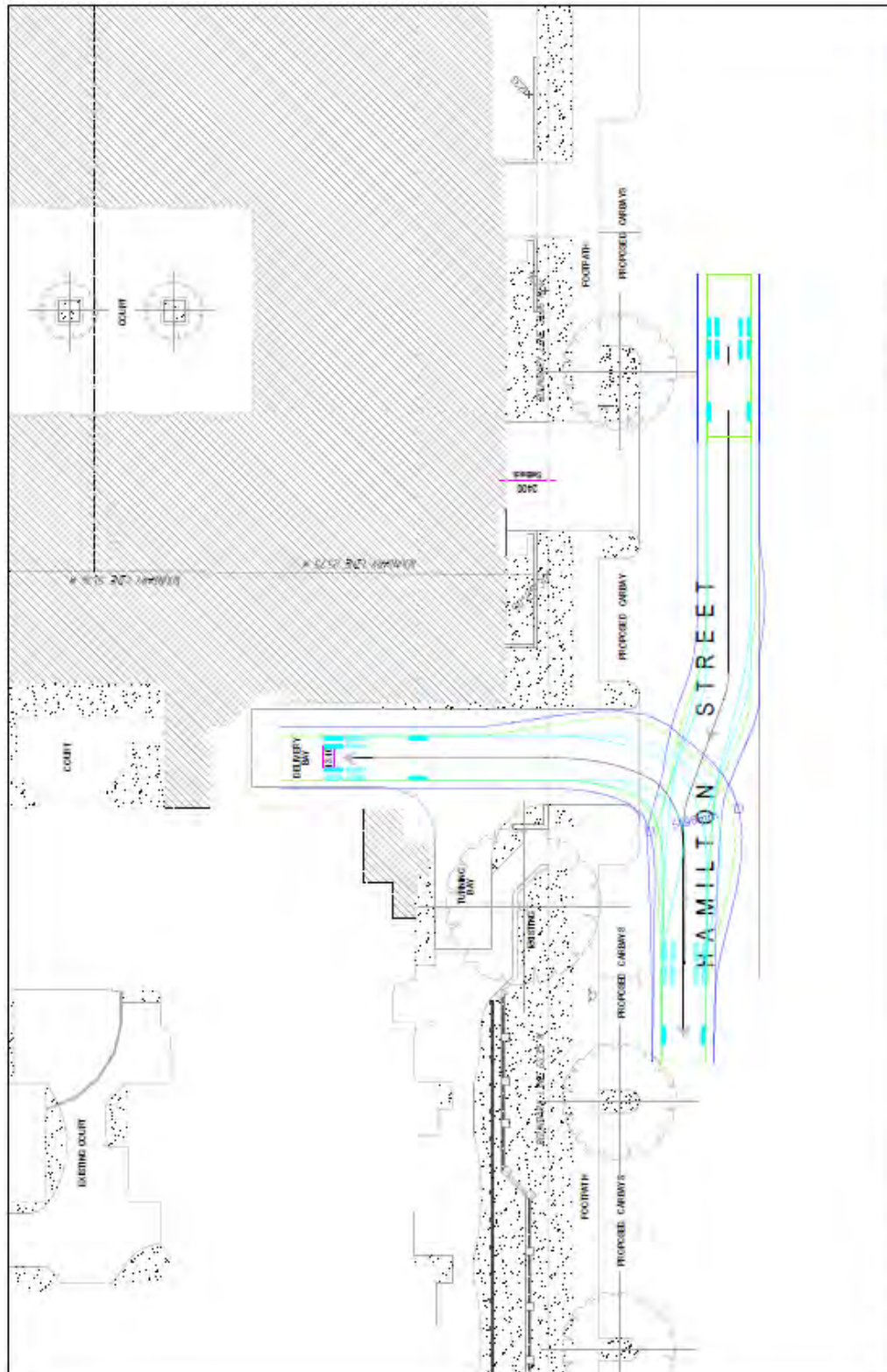
## PROPOSED DEVELOPMENT PLANS



# Appendix B

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## SWEPT PATH ANALYSIS



Aegis Bassendean

Turn Path Analysis - 9.25m Suez Waste Truck  
Truck Reverse Entry into Loading Area

**LEGEND**

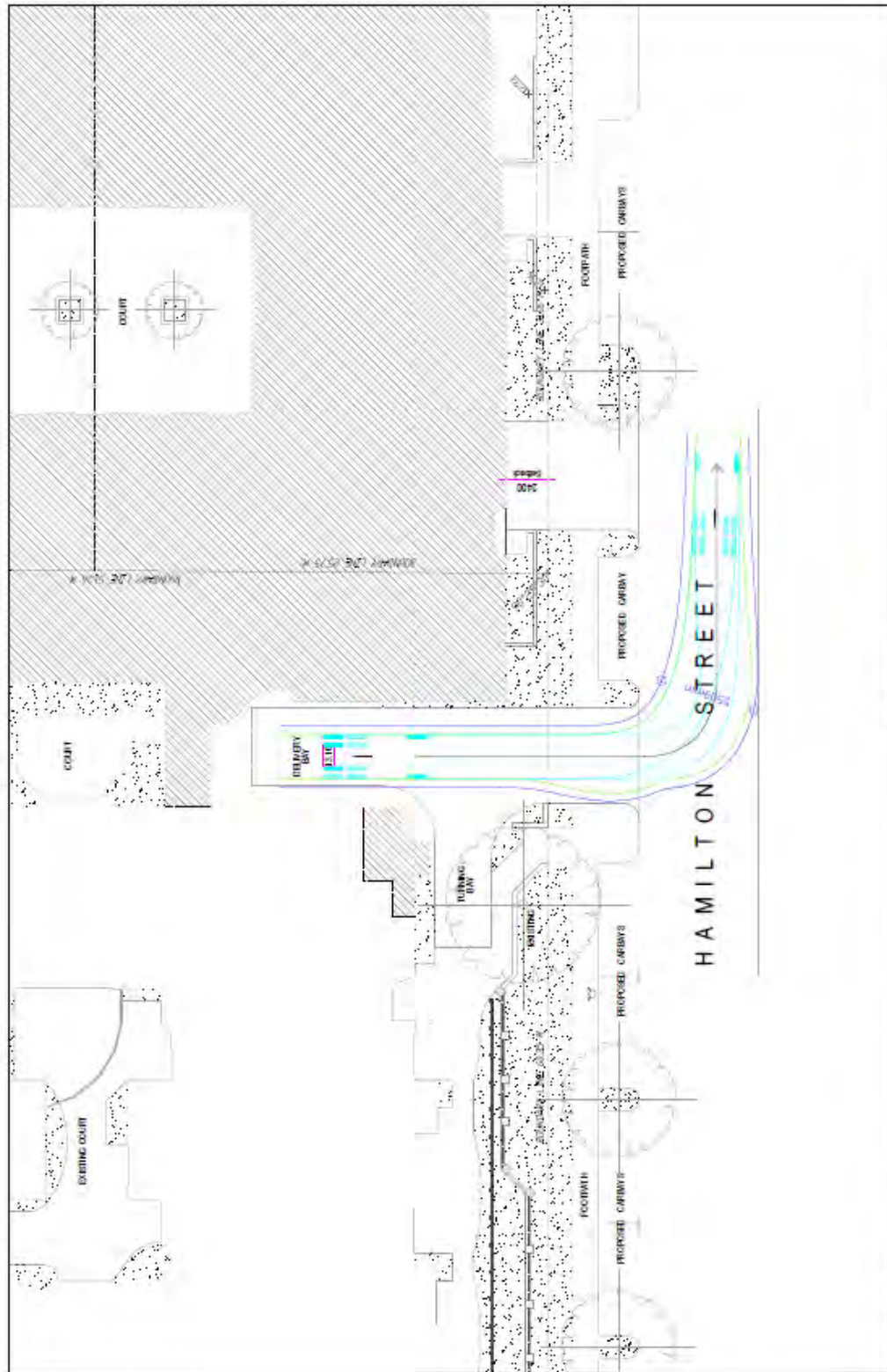
- Vehicle Body
- Wheel Path
- 500mm Clearance

t17.234.sk01

06/09/2017

Scale: 1:200 @ A3





Aegis Bassendean

Turn Path Analysis - 9.25m Suez Waste Truck  
Truck Forward Exit from Loading Area

#### LEGEND

Vehicle Body  
Wheel Path  
500mm Clearance

t17.234.sk02

06/09/2017

Scale: 1:200 @ A3



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# **ANNEXURE 5**

## *Contaminated Site Auditor Advice*

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11 January 2016

Michael Cross  
Aegis Aged Care Group  
90 Goodwood Parade,  
Burswood,  
WA 6100

Dear Michael,

**Re: Status of Contaminated Site Audit**  
**Lots 84 & 85 Old Perth Road, Bassendean, Western Australia**

**1. Introduction**

Aegis Aged Care Group (the 'Client') has engaged myself (Vanessa Bryant) to undertake a contaminated sites audit and produce a Mandatory Auditors Report (MAR) for the site located at Lots 84 & 85 Old Perth Road, Bassendean, WA (hereafter referred to as "the Site").

The site has historically been used as a service station, car workshop and more recently a car yard. A Development Approval (DA) has been issued by the Western Australian Planning Commission (WAPC), with the lots to be combined in to one land parcel.

Condition 2 of the planning approval states:

*"Prior to commencement of subdivision works, investigation for soil and groundwater contamination is to be carried out to determine if remediation is required" and that "if required , remediation, including validation of remediation , of any contamination identified shall be completed prior to the issuing of titles to the satisfaction of the Western Australian Planning Commission on advice from the Department of Environment Regulation, to ensure that the lots created are suitable for the proposed use. Investigations and remediation are to be carried out in compliance with the Contaminated Sites Act 2003 and current Department of Environment Regulation Contaminated Sites Guidelines".*

In accordance with regulation 31(1)(c) of the Contaminated Sites Regulations 2006, a Mandatory Auditor's Report, prepared by an accredited contaminated sites auditor, will need to be submitted to the Department of Environment Regulation in order to "sign off" that the above mentioned condition has been met

**2. Works Completed**

Strategen were engaged to conduct environmental assessments for the site. I have reviewed the following reports prepared by Strategen.

- Strategen Environmental (July 2015) Preliminary Site Investigation, Lots 84 & 85 Old Perth Road, Bassendean



- Strategen Environmental (December 2015) Detailed Site Investigation, Lots 84 & 85 Old Perth Road, Bassendean

Following my review of the two above mentioned reports, I confirm the following.

- The Auditor is satisfied that the information contained in the reviewed reports are generally complete, accurate and compliant with the requirements of the Department of Environment Regulation (DER) Contaminated Sites Guidelines, National Environment Protection (Assessment of Site Contamination) Measure and other relevant published technical guidance.
- The assessments were sufficient to define the potential extents and types of contaminated media with an appropriate level of confidence.
- Investigation methodologies were sufficient to assess risk.
- Based on the results of investigation there is soil and groundwater contamination which requires remediation and management to ensure that the site is suitable for the proposed development.

### **3. Nature and Extent of Contamination**

Investigations conducted confirmed the following.

- Presence of surficial ACM fragments and asbestos fines in soil.
- Concentrations of heavy metals (nickel, lead and zinc) and total recoverable hydrocarbons (TRH) above the adopted assessment criteria in soil.
- Concentrations of dissolved heavy metals across the site (aluminium, copper and zinc), VOCs (benzene, toluene, ethylbenzene, styrene [vinyl benzene] and vinyl chloride) and naphthalene above adopted groundwater criteria within a perched groundwater zone.
- Soil and groundwater contamination is unlikely to pose a risk to human health or the environment in the context of the current use (commercial/industrial purposes), however remediation would be required to ensure that the site is suitable for the proposed use.

### **4. Works Required**

Strategen make the following recommendations, which I concur with.

- Further investigation of groundwater should be undertaken before developing a groundwater management plan for implementation during construction.
- Soil remedial works and/or management of asbestos, heavy metal and hydrocarbon impacted soils are required.
- Remedial works will require the preparation of a Remedial Action Plan (RAP), which will detail the approach and methodology for the remediation/management of the impacted soil and groundwater.
- Following the successful remediation and/or management of the impacted soils in accordance with the approved RAP, a Site Remediation and Validation (SRV) report will need to be prepared.

Note that the soil remediation works are best conducted as part of development works as access to site soils beneath existing infrastructure is required.



It is therefore my recommendation that these works be allowed to be completed prior to issue of the MAR and approval and reclassification of the site (subject to their review) by DER. The remediation will allow the intent of the condition (i.e. ensuring the site poses no unacceptable risk to human health in the context of the proposed use) to be met.

## 5. Concluding Remarks

I trust that this information is suitable for your purposes at this time. If you (or any other relevant party) have any questions or would like to discuss further, please do not hesitate to contact me on 0419 951 532 or [vanessa.bryant@senversa.com.au](mailto:vanessa.bryant@senversa.com.au).

Yours sincerely,

**Vanessa Bryant**

Principal  
Contaminated Sites Auditor (WA)

VB/CS

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**ANNEXURE 6**  
*Stormwater Management Plan*  
*BPA Engineering*

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## Bassendean Aged Care

### Stormwater Drainage Management Plan

PREPARED FOR

Montague Grant  
Architects

## Document Information

Project Name	Bassendean Aged Care
BPA Project	M09417
Document Title	Stormwater Drainage Management Plan
Client	Montague Grant Architects

## Document Control

Revision	Description	Date	Prepared	Checked	Approved
A	Draft issued for information	15/09/2017	AB	ARW	ARW
B	Issued for Information	22/07/2020	ARW	PDS	PDS

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## 1. Executive Summary

BPA Engineering (BPA) was commissioned by Montague Grant Architects (MGA) on behalf of Aegis Aged Care Group (Aegis) to produce a stormwater management plan for a new aged care facility proposed to be built on Lots 84 and 85 Old Perth Road, Bassendean. The lots are under the jurisdiction of the Town of Bassendean (ToB).

The Town drainage policy no. 14 requires managing the critical 1 in 20-year storm event. Initial geotechnical investigation suggests the site is unsuitable for soakage of stormwater.

To cater to council requirements, a detention system and pump unit was proposed to be installed under the lower ground floor parking. Detention storage is provided to attenuate flows prior to discharge to the council system. The total storage volume provided in the detention tank to cater for critical storm events was approximately 27m<sup>3</sup>.

## 2. Introduction

BPA have been commissioned to undertake a stormwater drainage management plan for the proposed development at Lot 84 (#68) and Lot 85 (#70) Old Perth Road, Bassendean 6054. The site is within the jurisdiction of the Town of Bassendean.

Based on schematic design by Montague Grant Architects, the development is a 4 storey + lower ground floor aged care development for Aegis. Please refer to Appendix A for supplied architectural drawings.



Figure 1: West Elevation, Received Design Drawings (Montague Grant Architects 2020)

This plan outlines the water quantity and quality management measures required to satisfy Town of Bassendean relevant stormwater drainage policies for the proposed development.

### 3. Existing Conditions

#### 3.1. Site Features and Location

The site is bounded by Hamilton Street (West), Existing Bassendean Aged Care site (North), Lot 45 (East), and Old Perth Road (South).

Lot 84 is currently mostly gravel surfaced with half the lot area being asphalt paving. Lot 85 features include an existing commercial building and a storage shed with asphalt paving for access. ToB drainage information shows an existing side entry pit on Old Perth Road, south of Lot 85. The site area is approximately 1845 m<sup>2</sup>. The site is located approximately 1km west of the Swan River. Department of Water flood maps (Appendix E) suggest that the site is outside the 100-year flood fringe.

Survey information supplied the site surface generally falls from North to South along Hamilton Street, and West to East along Old Perth Road. Site surface levels are between 12.8 m (North-western corner of lot 84) and 11.2 m AHD (South-eastern corner of lot 85).



Figure 2: Site Aerial August 2017

### 3.2. Site Geology

The Perth Metropolitan Region Geological Atlas (WA 1985) indicates the area is characterised as:

- "SAND - as S8 over sandy clay to clayey sand of the Guildford Formation of eolian origin".

Initial geotechnical investigation by ATC Williams on 15/09/2017 (Appendix F) indicates the possible presence of clayey soils at shallow depth, and mentions that the site is unlikely to be suitable for stormwater disposal on site.

Site excavation by BPA (September 2017) found perched groundwater approximately 300mm below the surface.

Based on the geotechnical investigation and site excavation by BPA the infiltration of stormwater on site is not a practical solution, therefore discharge to the council system is recommended.

### 3.3. Site Hydrology

Based on correspondence with the geotechnical engineer ATC Williams (Appendix F) we understand that previous geotechnical investigations conducted on the nearby sites in 2012 and 2013 reported the groundwater levels at the site to be between 0.6m and 4.2m below ground level: approximately 10.9m AHD and 7.8m AHD respectively. BPA site excavation in September 2017 found perched groundwater 0.3m below natural surface.

### 3.4. Existing Drainage Infrastructure

A site visit by BPA in September 2017 indicates no existing dedicated stormwater drainage for impervious areas, it is assumed that the entire lot runoff currently discharges to road reserve.

Based on ToB as constructed information, drainage pits and pipe alignments in Old Perth Road run towards the east.



Figure 3: Site Aerial and Town of Bassendean stormwater drainage overlay

Existing side entry pit (SEP) WS39-2914 is located south of the existing Lot 85 crossover. The SEP is on an alignment which flows from west to east, assumed to discharge towards the Swan River. No existing pit and pipe infrastructure is shown in Hamilton Street. Refer Appendix D for existing stormwater drainage information received from ToB.

## 4. Proposed development

### 4.1. Proposed Works

The proposed development is a four storey plus lower ground car parking aged care facility. The building has one main courtyard with rooves generally falling towards the exterior perimeter of the building. Access to the lower ground floor parking is from Hamilton Street. The proposed development is over the entire area of Lots 84 and 85.

## 4.2. Catchment Information

Roof areas and hard landscaping are proposed over approximately 99% of the site area. Catchment information is outlined in Table 1 Below.

Description	Runoff Coefficient (C)	Pre-Development		Post-Development	
		Equivalent Impervious Area ( $A_{imp,pre}$ )		Equivalent Impervious Area ( $A_{imp,post}$ )	
		m <sup>2</sup>		m <sup>2</sup>	
Roof	1	310	310	1464	1464
Hard Landscaping	0.9	845	761	379	341
Soft Landscaping	0.3	690	207	2	0.6
Total	Site area: 1845m <sup>2</sup>		1278		1806

Table 1: Catchment Information

## 5. Stormwater Quantity Management

The purpose of this management plan is to satisfy Town of Bassendean stormwater drainage criteria, protect public using the facilities from flooding, and provide an efficient and maintainable stormwater drainage management solution.

Rainfall runoff from critical storm events must be kept away from habitable areas. Runoff is conveyed away from the proposed buildings and structural and non-structural controls are used to meet design requirements below.

### 5.1. Council Drainage Criteria

Town of Bassendean stormwater drainage criteria is outlined in local planning policy number 14. The first preference is for onsite disposal of stormwater via infiltration into the subgrade. It is our understanding the town will consider connection to the council stormwater drainage system if the site is in clayey soils or high groundwater.

Based on council correspondence (Appendix C) the 1 in 20-year event is required to be contained on site. BPA recommends the detention of stormwater prior discharge to council system in lieu of on-site infiltration, due to evidence of perched groundwater and clayey soils.



## 5.2. Stormwater Detention

There is an array of stormwater detention systems which can be employed to manage stormwater on-site however are dependent on hydrological, geometrical, geotechnical and cost constraints.

Based on the proposed building layout, levels, and existing ground conditions we recommend the use of an in-situ cast concrete detention tank below the proposed lower ground parking. Due to height and layout restrictions and position of the council system connection point, we recommend a pump unit is used to convey stormwater to a silt pit within the site boundary. The silt pit will trap any sediment prior to gravity discharge to the council pit.

## 5.3. Hydrological Data and Inflow

Intensity-Frequency-Duration (IFD) data was obtained from the Bureau of Meteorology (BOM). Please refer Appendix B for BOM IFD data.

An assessment was carried out to determine peak flows and resulting stormwater volumes due to runoff from impervious areas.

## 5.4. Hydraulic Design

Based geotechnical information the hydraulic conductivity ( $k_h$ ) of the subgrade was assumed to be very low. As such, a system providing detention storage only was chosen for the site. The system assumes no infiltration is possible in the in-situ soil.

ToB provided a standard calculation spreadsheet using the modified COPAS equation to determine the required on-site storage. Based on council correspondence (Appendix C), this is the preferred method of calculation for council submission.

The modified COPAS Equation (Appendix D) was used to calculate the critical storm and required detention. The total impervious area was 1806 m<sup>2</sup>. For a 1 in 20-year ARI, the critical event was the 30-min storm. Based on an obtained pre-development flow rate of 11.6 l/s, the calculated restrictive orifice diameter was 100mm. The calculated required storage was 26.6m<sup>3</sup>. The tank system capacity was based on the allowable inflow volume during the critical storm event. Detention tank inlets from roof and hard catchments are to be confirmed during detailed design. The pump unit is to be sized to cater for the required detention volume of 27m<sup>3</sup> and consider the capacity of the restricting device inside the silt pit.

## 5.5. 100 Year Flood Management

Overland flow paths are provided around the site. Natural surface falls are maintained along the building envelope. Trapped courtyards are provided with a pit and pipe system which allows excess stormwater to overflow to the lower ground floor stormwater detention tank. A high-level gravity overflow pipe is provided to the boundary silt pit.

The Department of Water flood data shows both Lot 84 and Lot 85 are outside the 100-year flood fringe. Refer Appendix E for the 100-year Swan River flood map received 14/09/2017.

### 5.6. Structural Controls

To attenuate flows prior to discharge to the council system, detention is provided in an underground concrete tank below the parking surface. A silt pit is provided within the site boundary to trap sediment prior to discharge to the council system. A 100mm diameter 'T' piece is fitted inside the silt pit to restrict outflows to the council system. To increase the safety factor of the system and decrease risk of overflow during the 20-year event, the volume in the pit and pipe system is not considered for detention.

Detention volumes are outlined in Table 2 below:

Description	Approximate Detention Volume Provided
	m <sup>3</sup>
Concrete detention tank	27
Pits and pipes	Not included

Table 2: Site detention

Events higher than the 20-year storm are conveyed via a high-level overflow pipe from the detention tank to the boundary silt pit and bubble up in the Old Perth Road verge.

### 5.7. Non-Structural Controls

Site maintenance staff will be responsible for maintaining any litter filters / traps that are needed for management of gross pollutants. The waste will be picked up on a regular basis.

## 6. Stormwater Quality Management

Stormwater is routed via a silt pit to capture any sediment and gross pollutants. The 1 in 1-year or the "first flush" event is captured via the on-site detention system and routed via the detention tank and pump unit. Silt pits are provided prior discharge to the detention tank for parking and roof catchments. Pump outflow is routed via the boundary silt pit to capture any remaining sediment.

There is no significant runoff expected from the lower ground parking, the proposed pits will mostly capture nuisance water.

Stormwater detention systems will be designed for storm intensities up to the 20-year ARI to manage quantity, this means the 1-year 1-hour storm is included in the capture flow rate, and



provided periodic maintenance is conducted, pollutants (if present) will be removed from the system prior to disposal into the council system and downstream catchments.

## 7. References

Town of Bassendean. 2017. TOWN OF BASSENDEAN POLICY MANUAL.

WA Department of Water. 2016. "Decision process for stormwater management in WA." July.  
Accessed 2017.

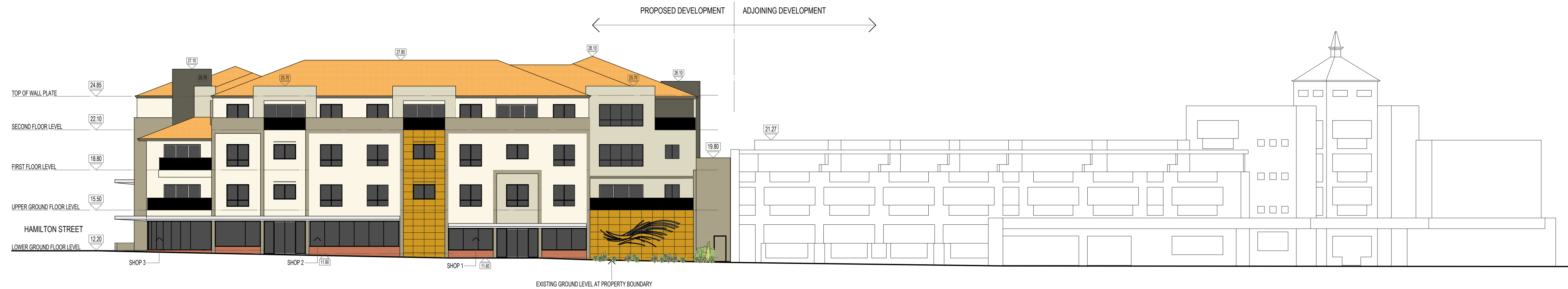
[https://www.water.wa.gov.au/data/assets/pdf\\_file/0007/8683/110370.pdf](https://www.water.wa.gov.au/data/assets/pdf_file/0007/8683/110370.pdf).

—. 2017. Perth Groundwater Map.

WA. 1985. Perth Metropolitan Region Geological Atlas.

## Appendix A – Architectural Drawings





SOUTH ELEVATION (OLD PERTH ROAD)



WEST ELEVATION (HAMILTON STREET)

**MONTAGUE GRANT ARCHITECTS** PTY LTD  
26 BRISBANE ST, PERTH WA 6000 TELEPHONE: 9328 2233 FAX: 9227 6346 A.C.N. 009 072 593

**ELEVATIONS**  
DRAWING CLIENT AGED CARE GROUP PTY LTD  
JOB BASSENDEAN AGED CARE, ALTERATIONS AND ADDITIONS  
SITE LOTS 54, 84 & 85 OLD PERTH ROAD  
BASSENDEAN  
TOWN OF BASSENDEAN

JOB NO **19.15**  
DRAWN MGA  
SCALES 1:200

DRG NO **SK7.**  
DATE JULY 2020  
ISSUE D.A.

Contractor must verify all Dimensions before commencing Work or Shop Drawings  
DRAWINGS MUST NOT BE SCALED  
THIS DRAWING IS THE COPYRIGHT OF MONTAGUE GRANT ARCHITECTS PTY LTD EXCLUSIVELY

## Appendix B – BOM Data

IFD Design Rainfall Intensity (mm/h)

Issued: 14-Sep-17

Location

Label: Bassendean

Requested Latitude -31.9049 Longitude 115.9517

Nearest gri Latitude 31.9125(S) Longitude 115.9625(E)

		Annual Exceedance Probability (AEP)						
Duration	Duration in	63.20%	50%#	20%*	10%	5%	2%	1%
1 min	1	97.8	108	143	168	193	229	258
2 min	2	84.9	93.4	121	141	162	191	216
3 min	3	76	83.8	109	128	147	174	196
4 min	4	69.1	76.3	99.9	117	135	160	180
5 min	5	63.6	70.2	92.3	108	125	148	167
10 min	10	46.4	51.5	68.1	80.2	92.5	110	123
15 min	15	37.4	41.5	54.9	64.6	74.4	88.1	99.1
30 min	30	24.9	27.5	36.2	42.5	48.9	57.9	65.1
1 hour	60	16.1	17.7	23.2	27.1	31.3	37.2	42
2 hour	120	10.3	11.3	14.7	17.3	20	24.1	27.5
3 hour	180	7.95	8.71	11.3	13.3	15.5	18.8	21.6
6 hour	360	5.12	5.6	7.29	8.64	10.1	12.4	14.4
12 hour	720	3.3	3.61	4.71	5.58	6.56	8.04	9.35
24 hour	1440	2.1	2.31	3	3.53	4.1	4.97	5.71
48 hour	2880	1.33	1.46	1.87	2.17	2.46	2.9	3.26
72 hour	4320	1.01	1.11	1.42	1.62	1.81	2.1	2.32
96 hour	5760	0.838	0.92	1.17	1.32	1.47	1.69	1.85
120 hour	7200	0.728	0.798	1.01	1.14	1.27	1.45	1.58
144 hour	8640	0.652	0.714	0.902	1.02	1.14	1.3	1.42
168 hour	10080	0.596	0.652	0.826	0.942	1.05	1.21	1.32



## Appendix C – Council Correspondence and Criteria

## Alex Briscan

---

**From:** Nicole Baxter <nbaxter@bassendean.wa.gov.au>  
**Sent:** Monday, 11 September 2017 1:36 PM  
**To:** Alex Briscan  
**Cc:** Trent Macpherson (tmacpherson@bassendean.wa.gov.au)  
**Subject:** Town's Storm Water Drainage Lot 68 and 79 Old Perth Road  
**Attachments:** Modified COPASEQ5 Rev01.xls; STD-13.pdf; ASSET SERVICES - Application for Permits 2017.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Alex

Town of Bassendean stormwater connection and the procedure.

Not all properties within the Town can connect to the Towns drainage network.

The Towns first preference is for onsite disposal of stormwater where appropriate ie. properties are to contain stormwater on site in soak wells. (**sandy soils** )

If stormwater infiltration is not achievable within the property (the property has **clay, high water table, other**) the following process is to be followed:

Town of Bassendean has a Stormwater policy, this shall be adhered to . Planning policy No 14 *link provided*  
[http://www.bassendean.wa.gov.au/profiles/bassendean/assets/clientdata/document-centre/policies/section\\_1.pdf](http://www.bassendean.wa.gov.au/profiles/bassendean/assets/clientdata/document-centre/policies/section_1.pdf)

- Application form to be completed and returned with supporting documents, being;
- Geotechnical report
- Drainage design. Being and not limited to;  
a site plan indicating roof/paved area, proposed soakwell locations and sizes, indicating containing 1:20yr stormwater event, proposed silt pit –within the property boundary and indicating the restrictive orifice ‘T’ piece as per COPAS calculator, proposed new manhole where the private drainage connection meets the Towns existing drainage infrastructure.
- Completed COPAS calculation sheet

Asset Services will review their design and supporting documents.

If the application is approved, a conditional approval letter is returned to applicant advising of the conditions and the following shall be paid prior to construction.

- Stormwater Drainage Connection Security Deposit - (Refundable) \$ 995.00 (as per financial year fees and charges)
- Stormwater Drainage Assessment to Connect to the Town’s Drainage Network -Administration Fee(Non Refundable) \$ 1,275.00(as per financial year fees and charges)
- Drainage Infrastructure Contribution Fee – (Non Refundable) \$ 2,231.00(as per financial year fees and charges)

*Nicole Baxter*

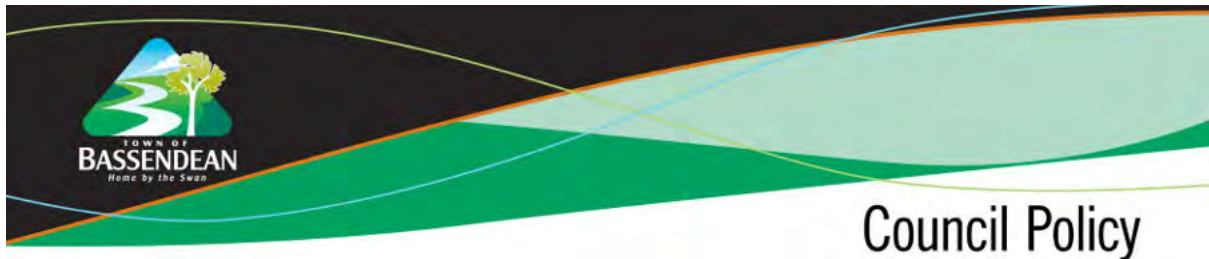
Engineering Design Officer  
Town of Bassendean

Phone (08) 9377 9000  
Direct Line (08) 9377 9025  
Facsimile (08) 9279 5416

Email: [nbaxter@bassendean.wa.gov.au](mailto:nbaxter@bassendean.wa.gov.au)  
Web: [www.bassendean.wa.gov.au](http://www.bassendean.wa.gov.au)

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## **LOCAL PLANNING POLICY NO. 14 - ON-SITE STORMWATER POLICY**

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### **1.0 OPERATION OF THIS PLANNING POLICY**

This planning policy has been prepared in accordance with Part 2 of the Town Planning Amendment Regulations 1999.

### **2.0 PURPOSE OF THIS POLICY**

The purpose of this policy is to:

1. Clearly outline the circumstances in which the Town will permit a connection to the Town's drainage system.
2. State the design standards that the Town will have regard to in assessing applications to connect to the drainage system; and
3. Outline the conditions that will be imposed on any approval to connect to the drainage system.

### **3.0 APPLICATION OF THE POLICY**

This policy applies to any application for new development that proposes to connect to the Town's drainage system.

### **4.0 BACKGROUND**

Urbanisation leads to changes in both the quantity and quality of water that is delivered to receiving waters. The built environment has many sources of pollutants that can contaminate stormwater as it passes through the catchment, including metals, oils, petrol, organic debris, litter, silt and dust, fertilisers, animal waste, pesticides and detergents.

Within the Town of Bassendean, there are areas which have soils that are largely clay in nature. As a result, stormwater runoff may pool on the surface of properties due to reduced capacity to infiltrate the soil. Traditionally, Council has permitted this stormwater to be discharge into the stormwater system via a silt trap and temporary on site storage system.

Increases in housing density and infill development have increased demand from developers to have private stormwater disposed via the Town's street drainage system. However, this system was designed several decades ago for road stormwater runoff only. Even with over capacity margins built into the system there is likely to be increasing pressure on the Town's drainage systems and its ability to effectively drain the area during storm events.

There is also concern about the quality of stormwater discharging into the drainage system and into water bodies, such as the Swan and Canning Rivers, particularly from industrial areas. Stormwater runoff from urban areas carries sediments and pollutants, such as nutrients and heavy metals from impervious surfaces. Unmanaged, the cumulative impact of these pollutants can result in considerable damage to the environment.

To address this issue, the Town of Bassendean proposes that all new drainage applications for connection and drainage to the Town's stormwater system be assessed against Sections 5 and 6 of this policy.

## **5.0 ASSESSMENT PROCEDURE**

The Town will only permit applications to connect to the Town's stormwater system, in the following circumstances:

- a) all on-site stormwater retention options have been investigated and exhausted;
- b) only developments in areas where the natural soil is high in clay content, and deemed unsuitable for on-site disposal via infiltration, shall be considered for connection to the Council's stormwater system. This should be verified as part of the geotechnical investigation in addition to the site classification and it can be demonstrated by a qualified civil engineer to the Town's satisfaction that on site disposal is not feasible ;
- c) if connection to the Town's stormwater system is necessary in industrial areas, that the stormwater discharging from the area be independently tested, in accordance with the Unauthorised Discharge Regulations 2004 enacted under the *Environmental Protection Act 1986*.

## **6.0 Design Requirements**

### **6.1 Off-Site Drainage System**

For pre and post development discharge calculation, the required discharge design storm shall be the minor system design ARI (Average Recurrence Interval) of the municipal drainage system, to which the storage will be connected. This is the 1 in 5 year ARI. The design storm for calculating the total storage volume above and below ground and for overall design of the on-site detention facility shall be the 1 in 20 year ARI.

A standard pre-development runoff coefficient of  $C=0.35$  applies over the whole of the development area. Considering the post-development site conditions, a respective runoff coefficient appropriate for the development over the whole of the lot area will have to be found and applied. The underlying factor for the specification of this runoff coefficient is that the post-development site discharge is reduced to pre-development levels and is estimated on the basis, that flow rates within the downstream stormwater drainage and conveyance system will not be increased. For calculation of the PSD, the roof-to-gutter time of concentration shall be taken as 9 minutes for residential areas and 5 minutes to on-site facilities for commercial and industrial sites. The designer will then have to determine the permissible site discharge value, e.g. by using the Rational Method combined with a Hydrograph Estimation Method, and a suitable outflow regulating device will have to be designed to meet this requirement. Alternatively, the attached standard design can be utilised in accordance with the site discharge values and subsequent site storage requirements to be determined

#### **Required Storage Volume:**

Given the aforementioned, a respective storage volume appropriate for the development and the layout of the lot area will have to be found. Regarding the respective design storm durations, typically the critical storm duration that produces the largest required storage volume is longer than the time of concentration used for peak flow estimation. Therefore, corresponding storage volumes must be determined for a range of storm durations to find the maximum storage required. This value will have to be logically comprehensible from the hydraulic calculations.

#### **Depth of Underground Storage:**

The base level of any underground storage system must be such that the flow stormwater into the Town's adjacent street stormwater system is possible. The applicant must be able demonstrate this as part of the design process.

### **Point of Discharge:**

The point of discharge into the municipal drainage system will have to be determined through consultation with Council. In some cases, an extension of the municipal drainage system may be required at the developer's cost and to the specification and satisfaction of the Town of Bassendean.

### **Application Procedure**

Applicants wishing to connect to the Town's drainage system are required to complete the modified COPAS equation for stormwater retention which is available on the Town's website, and an example of which is shown on Appendix 1.

The onus is on the property owner to fully design the internal stormwater system and submit a comprehensive stormwater drainage plan to Council, for approval by the Director Operational Services, prior to the commencement of works. All surveys for existing invert levels and pipe alignment etc are the responsibility of the owner to obtain. This design be carried out and certified by a consulting engineer. These plans and specifications for this system must be to the Town's satisfaction.

A comprehensive stormwater plan is to detail sizes and types of all materials, invert levels, pit levels – top and bottom, design return period, site retention capacity and outlet capacity for the design return period and grades of all pipes.

Where there is an existing manhole, gully or side entry pit within the verge and within the extent of the frontage of the property, a connection from the silt pit may be made directly to that structure (provided levels are suitable). If there is no manhole, gully or side entry pit within the property frontage, and a stormwater pipe exists within the verge.

Where the Town has no drainage infrastructure accessible from the property the Town may extend the Town's network or provide an outlet structure on the kerb at the owner's cost. Where an outlet structure is provided the stormwater exiting at the kerb will then flow down the road to the nearest road gully at the same cost.

The Town may construct a manhole over the pipe as per the sketch detailed on appendix 2. The property owner shall be responsible for all costs associated with the construction of the manhole.



## **Conditions to be imposed on approvals to connect to the Town's Drainage System**

The owner of the land, will be required to place a notification under section 70A of the Transfer of Land Act. 1893 as amended, to be placed on the Certificate(s) of Title advising of the stormwater detention system installation, the restrictions, drainage limitations and the requirement for the current and future property owners to maintain the detention system in good working order.

All works associated with connecting the internal system to the street drainage system are to be carried out by the property owner.

Prior to backfilling of trenches, the works are to be inspected by the Engineering Officer. All pipes and connection points to pits are to be easily visible by the inspecting Council Officer.

A security deposit of \$750 is to be lodged with Council prior to the commencement of works within the road reserve. This deposit is fully refundable at the completion of the works, provided that the site has been left in a clean and tidy state to the standard which existed prior to works commencing. Council will retain part or all of the deposit held should reinstatement works not be to the satisfaction of the Director Operational Services.

The Director Operational Services reserves the right to vary the deposit in line with the extent of the proposed works.

A fee is payable for connection to the Town's drainage network where all stormwater is disposed of into the Town's drainage system. Details of the fee is included in the Town's Schedule of Fees and Charges.

Permits for connection to the drainage system will be valid for a period of 2 years. If the works are not undertaken in this time a new approval will be required.

Regular maintenance of an on-site detention system is required to keep the system fully functioning and is the responsibility of the property owner. The required maintenance schedule and drawings will identify the key components of the system, their locations and will provide a tool to ensure that ongoing maintenance is carried out as required, including cleaning of accumulated debris from screens and removal of sediment from the base of the pit or tank.

Applicants are advised:

In the event of a severe stormwater or flooding event, that the Town of Bassendean drainage system may not have sufficient capacity to manage the stormwater from the subject lot. It is therefore essential that property owners make necessary

enquires to obtain suitable and adequate private insurance coverage for such events.

It is an offence under the Environmental Protection Act 1986 (WA) to discharge contaminants or discharge waste that will cause harm to the environment. Applicants are responsible for ensuring that they do not allow any contaminants to enter the retention system as overflow discharged water from the subject lot will subsequently enter the Swan River.

The uncertain and often inexact nature of stormwater management and flood mitigation, together with the increased level of liability and litigious potential of flooding, can pose an increased and unknown level of risk to property owners. The Town of Bassendean, its employees, servants and agents, shall not be held responsible for any loss, damage or injury (fatal or otherwise), whether to property or person, howsoever suffered by the Applicant, unless such loss is shown to have occurred due to the direct negligence of the Town of Bassendean.

## APPENDIX 1

### Worked example

Lot area = 800m<sup>2</sup>

Total roof and paved area = 500m<sup>2</sup>

Natural surface level = 7.5

Council stormwater system invert level = 6.1

From spreadsheet:

	M	N	O	P	Q	R	S	T
1	MODIFIED COPAS EQUATION FOR STORMWATER RETENTION							
2	Town of Bassendean							
3								
4	Lot Area (ha)				= 0.08			
5	Roof & Paved Area (ha)				= 0.0500			
6	Time of Concentration (mins)				= 5			
7	Predevelopment Flow (l/s)				= 5.04			
8	Orifice diameter (mm)				= 66			
9								
10			1 in 2yr	1 in 5yr	1 in 10yr	1 in 20yr	1 in 50 yr	1 in 100yr
11			cu.m	cu.m	cu.m	cu.m	cu.m	cu.m
12								
13	Maximum Storage Requ		1.24	2.50	3.45	5.03	7.63	9.82
14	T I M E							
15	minutes /hours							
16	5	5	0.94	1.80	2.47	3.44	4.94	6.23
17	6	6	1.07	2.05	2.81	3.88	5.54	6.95
18	10	10	1.24	2.50	3.45	4.81	6.88	8.73
19	20	20	0.52	2.10	3.29	5.03	7.63	9.82
20	30	30	-0.91	0.87	2.20	4.14	7.06	9.55
21	1	60	-6.66	-4.55	-3.00	-0.72	2.74	5.73
22	2	120	-20.37	-18.05	-16.25	-13.57	-9.60	-6.16
23	3	180	-35.26	-32.80	-30.90	-28.00	-23.61	-19.89
24	6	360	-82.43	-79.71	-77.60	-74.40	-69.28	-65.00
25	12	720	-181.09	-178.11	-175.71	-171.80	-165.81	-160.52
26	24	1440	-384.38	-381.09	-378.21	-373.50	-365.90	-359.35
27	48	2880	-799.49	-796.35	-793.09	-787.47	-777.73	-769.19
28	72	4320	-1218.99	-1216.94	-1213.88	-1208.00	-1197.82	-1188.06

Total storage volume = 5.03m<sup>3</sup>

Maximum tank depth = 7.5 – 6.1 = 1.4m

Use 1.2m dia x 1.2m deep tanks each with a volume of 1.36m<sup>3</sup>

Use 4 tanks (total volume) = 5.44m<sup>3</sup>

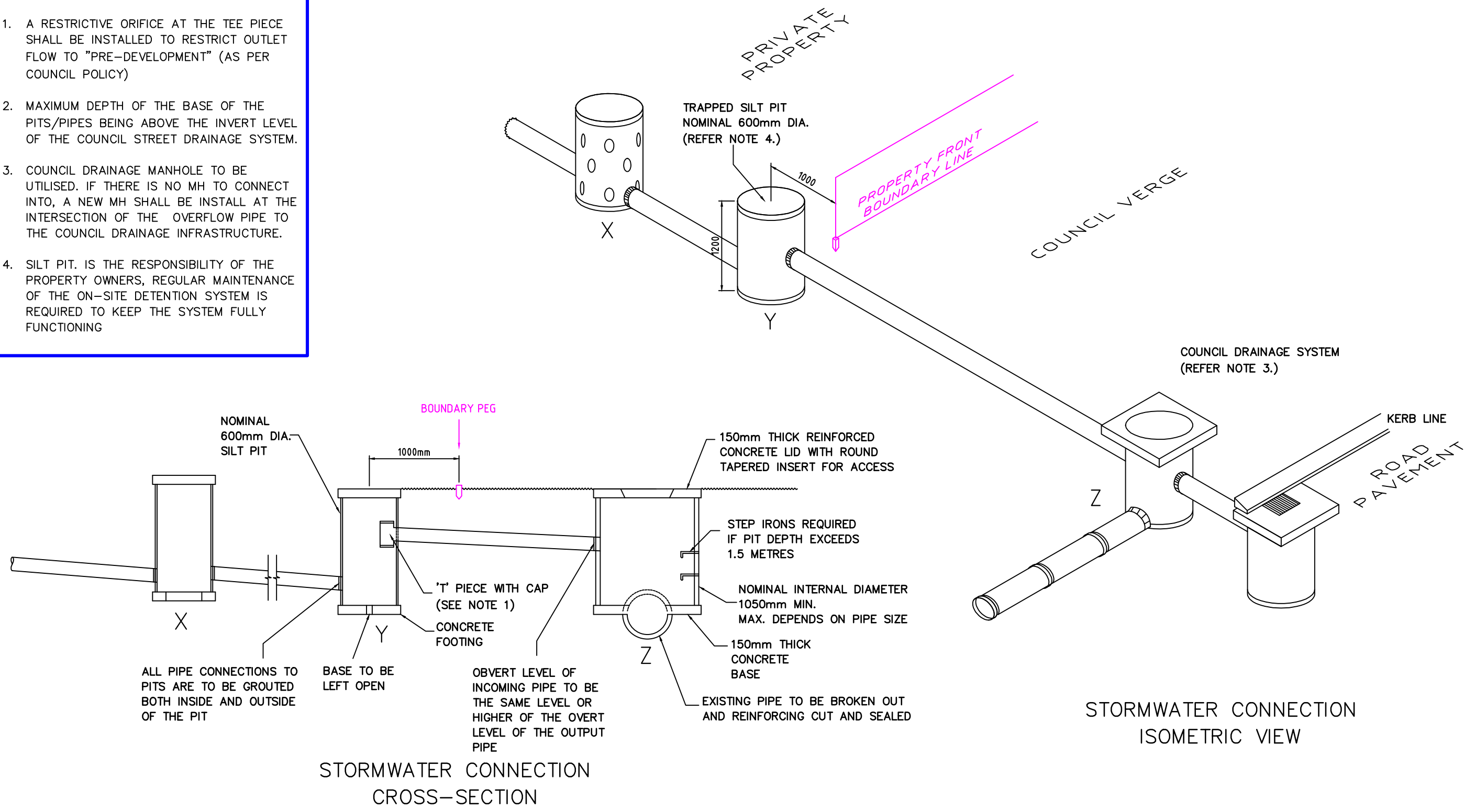
Outlet orifice diameter = 66mm (max)

**Interactive Stormwater Retention Calculator (Modified COPASEQ5 Rev01.xls)**  
can be found on the Town's website.

The Appendix 2 Standard Stormwater Connection Details is currently draft, the updated drawing will be provided shortly.

NOTES:


1. A RESTRICTIVE ORIFICE AT THE TEE PIECE SHALL BE INSTALLED TO RESTRICT OUTLET FLOW TO "PRE-DEVELOPMENT" (AS PER COUNCIL POLICY)
2. MAXIMUM DEPTH OF THE BASE OF THE PITS/PIPES BEING ABOVE THE INVERT LEVEL OF THE COUNCIL STREET DRAINAGE SYSTEM.
3. COUNCIL DRAINAGE MANHOLE TO BE UTILISED. IF THERE IS NO MH TO CONNECT INTO, A NEW MH SHALL BE INSTALL AT THE INTERSECTION OF THE OVERFLOW PIPE TO THE COUNCIL DRAINAGE INFRASTRUCTURE.
4. SILT PIT. IS THE RESPONSIBILITY OF THE PROPERTY OWNERS, REGULAR MAINTENANCE OF THE ON-SITE DETENTION SYSTEM IS REQUIRED TO KEEP THE SYSTEM FULLY FUNCTIONING



							DATE	TITLE
						DRAWN		
						CHECKED		
						DESIGNED		
						APPROVED		
MODIFIED TO REFLECT COUNCIL POLICY ADOPTED NOV 2012	1	NOV'12	NB	KC				
REVISIONS	No	DATE	DRN	CHK	APP			

STANDARD DRAWING

STORMWATER CONNECTION

**TOWN OF BASSENDEAN**  
ASSET SERVICES

48 OLD PERTH RD  
BASSENDEAN WA  
6054  
ABN 20 347 405 108

Telephone: (08) 9377 9000  
Facsimile: (08) 9279 5416  
Email: [mail@bassendean.wa.gov.au](mailto:mail@bassendean.wa.gov.au)  
[www.bassendean.wa.gov.au](http://www.bassendean.wa.gov.au)

SCALE: N.T.S

DRG. NO. **TOB -STD-13**

SHT. REV.

**A3**

## Appendix D – Stormwater Drainage Design Calculations and Site Plans

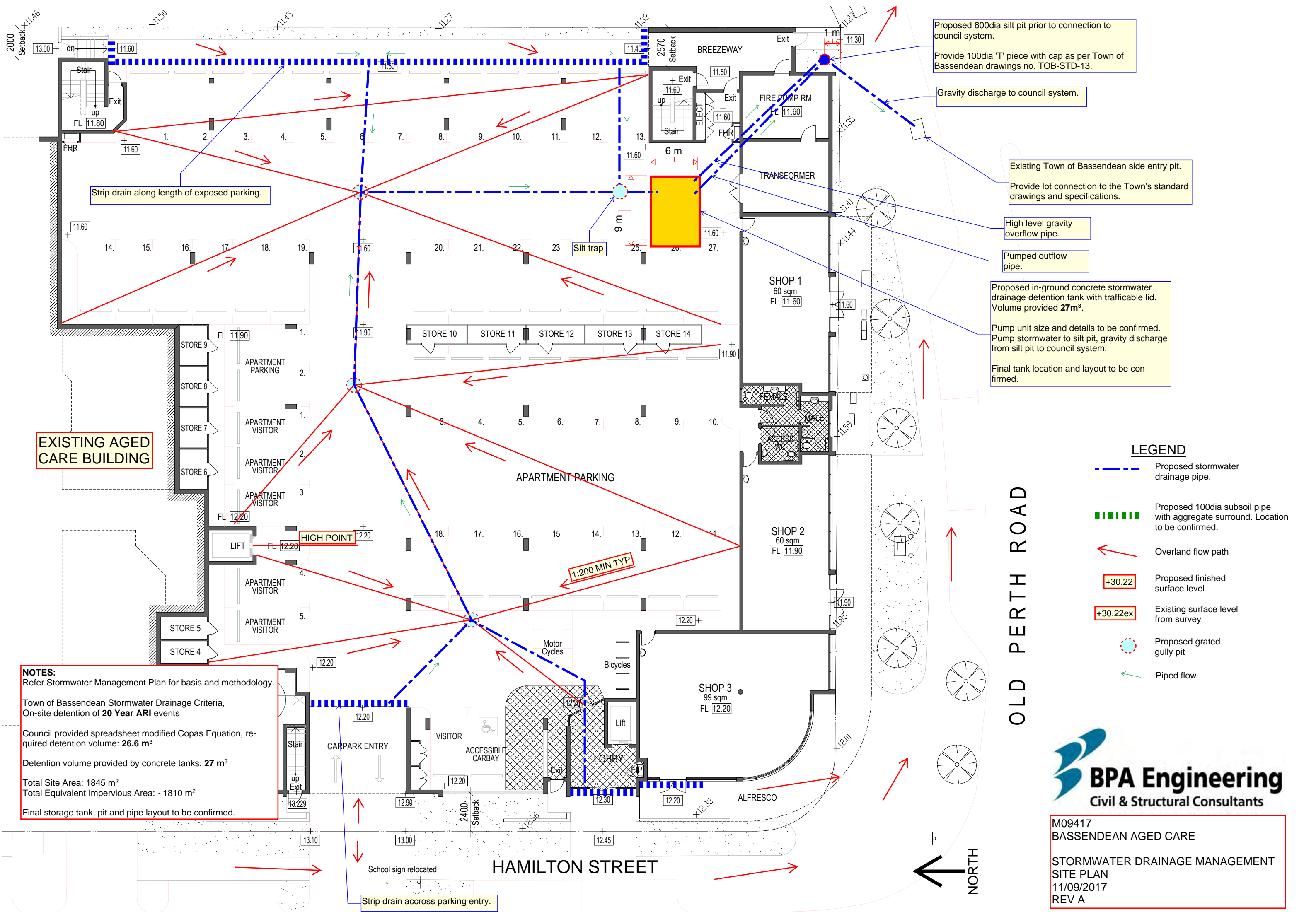
MODIFIED COPAS EQUATION FOR STORMWATER RETENTION

Town of Bassendean

Lot Area (ha)	= 0.1845
Roof & Paved Area (ha)	= 0.1806
Time of Concentration (mins)	= 5
Predevelopment Flow (l/s)	= 11.6235
Orifice diameter (mm)	= 101

	1 in 2yr cu.m	1 in 5yr cu.m	1 in 10yr cu.m	1 in 20yr cu.m	1 in 50 yr cu.m	1 in 100yr cu.m
Maximum Storage Required	8.83	15.19	19.80	26.64	37.56	46.79

T I M E							
minutes /hours							
5	5	5.83	9.31	11.90	15.55	21.16	25.91
6	6	6.60	10.52	13.45	17.48	23.68	28.85
10	10	8.39	13.42	17.06	22.21	29.88	36.72
20	20	8.83	15.19	19.80	26.39	36.10	44.17
30	30	6.85	14.07	19.23	26.64	37.56	46.79
1	60	-4.04	4.73	10.86	19.66	32.80	43.93
2	120	-33.06	-23.01	-15.65	-5.07	10.19	23.17
3	180	-65.84	-54.83	-46.90	-35.24	-18.19	-4.05
6	360	-171.69	-158.63	-149.43	-136.11	-115.73	-99.16
12	720	-396.05	-380.36	-369.26	-352.32	-327.85	-306.96
24	1440	-861.77	-842.03	-827.79	-806.48	-774.48	-748.16
48	2880	-1818.88	-1794.23	-1776.09	-1748.80	-1706.22	-1671.06
72	4320	-2789.90	-2764.54	-2744.64	-2713.64	-2667.07	-2625.75



Proposed 600dia silt pit prior to connection to council system.

Provide 100dia 'T' piece with cap as per Town of Bassendean drawings no. TOB-STD-13.

Gravity discharge to council system.

Existing Town of Bassendean side entry pit.

Provide lot connection to the Town's standard drawings and specifications.

High level gravity overflow pipe.

Pumped outflow pipe.

Proposed in-ground concrete stormwater drainage detention tank with trafficable lid. Volume provided **27m³**.

Pump unit size and details to be confirmed. Pump stormwater to silt pit, gravity discharge from silt pit to council system.

Final tank location and layout to be confirmed.

### LEGEND

- Proposed stormwater drainage pipe.
- Proposed 100dia subsoil pipe with aggregate surround. Location to be confirmed.
- Overland flow path
- Proposed finished surface level
- Existing surface level from survey
- Proposed grated gully pit
- Piped flow



M09417  
BASSENDEAN AGED CARE  
  
STORMWATER DRAINAGE MANAGEMENT  
SITE PLAN  
11/09/2017  
REV A

EXISTING AGED CARE BUILDING

**NOTES:**  
Refer Stormwater Management Plan for basis and methodology.  
  
Town of Bassendean Stormwater Drainage Criteria, On-site detention of **20 Year ARI** events  
  
Council provided spreadsheet modified Copas Equation, required detention volume: **26.6 m³**  
  
Detention volume provided by concrete tanks: **27 m³**  
  
Total Site Area: 1845 m²  
Total Equivalent Impervious Area: ~1810 m²  
  
Final storage tank, pit and pipe layout to be confirmed.

HIGH POINT

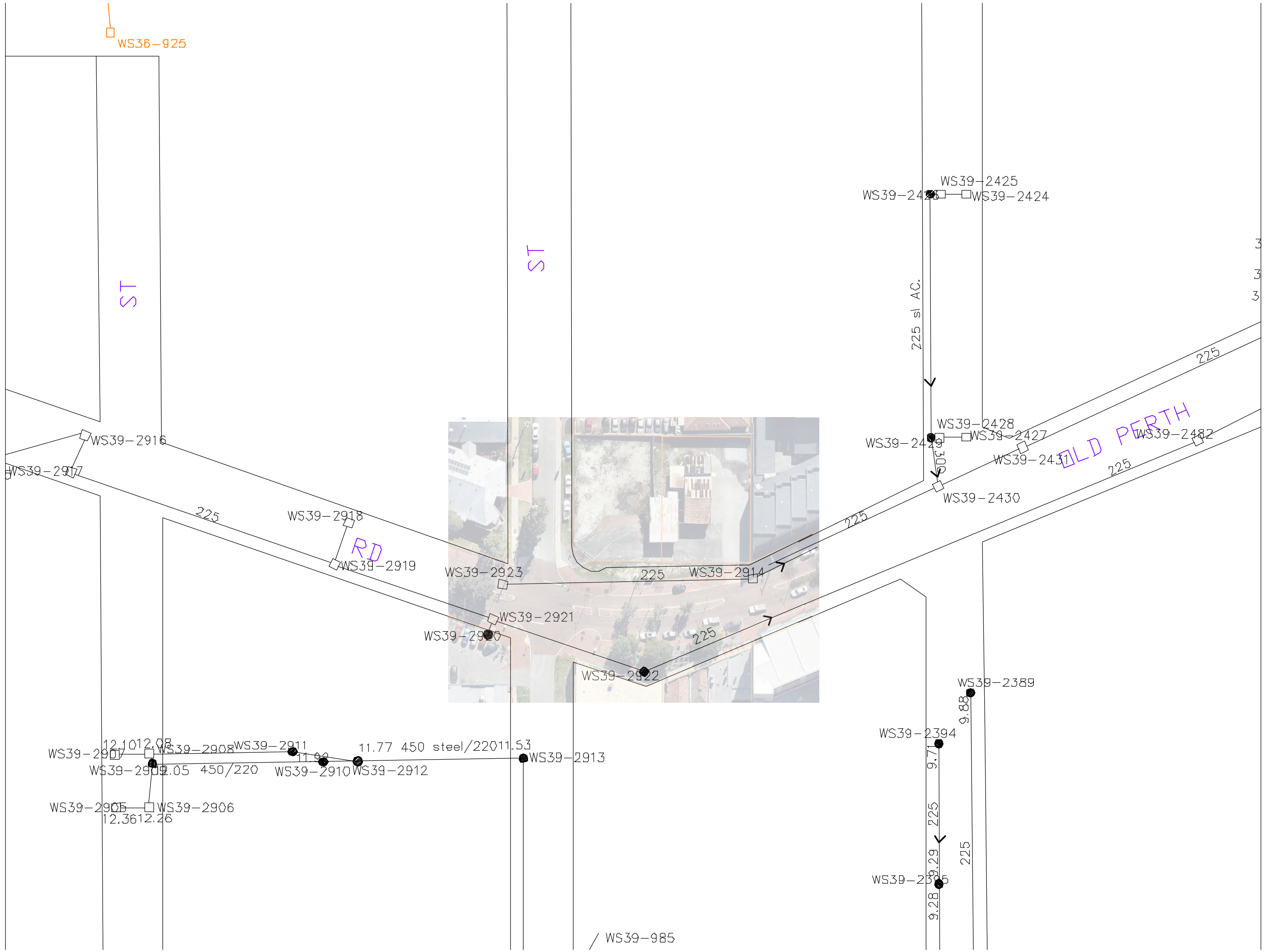
1:200 MIN TYP

OLD PERTH ROAD

HAMILTON STREET

NORTH





## Appendix E – WA Department of Water 100-Year Flood Map



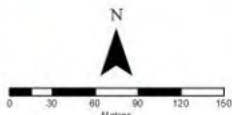
# **Lots 84 & 85** **Old Perth Road** **BASSENDAN**

## **LOCALITY MAP**



## **LEGEND**

- 84 85 Lots 84 & 85 Old Perth Rd
- Stormwater Drains
- 1 in 100 (1%) AEP flood levels (m AHD)
- Floodway
- Flood fringe
- Floodway limit
- Extent of 1 in 100 (1%) AEP flooding
- Roads



## **Datum and Projection Information**

Vertical Datum: AHD71  
Horizontal Datum: GDA94  
Projection: MGA Zone 50  
Spheroid: GRS80

## **Project Information**

Client: Alex Briscan  
Map Author: Lidia Boniecka  
Task ID: B1305  
Compilation date: 14/09/2017  
Edition: Version 1

## **SOURCES**

The Department of Water and Environmental Regulation acknowledges the following datasets and their custodians in the production of this map:

Railways - Landgate - 09/02/2016  
Road Centrelines, DU - Landgate - 01/02/2016  
Spatial Cadastral Database (SCDB) - Landgate - 01/05/2017  
Swan Coastal Plain Central Feb 15cm Orthomosaic -  
Landgate15 - 25/03/2015



Government of Western Australia  
Department of Water and Environmental Regulation

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This map was produced with the intent that it be used for display purposes at the scale of 1:5,292 when printed at A4.  
While the Department of Water and Environmental Regulation has made all reasonable efforts to ensure the accuracy of this data, the department accepts no responsibility for any inaccuracies and persons relying on this data do so at their own risk.





## Appendix F – Geotechnical Investigation

**Excerpt from initial geotechnical investigation by ATC Williams, correspondence received 15.09.2017 below:  
Final geotechnical investigation is in progress.**

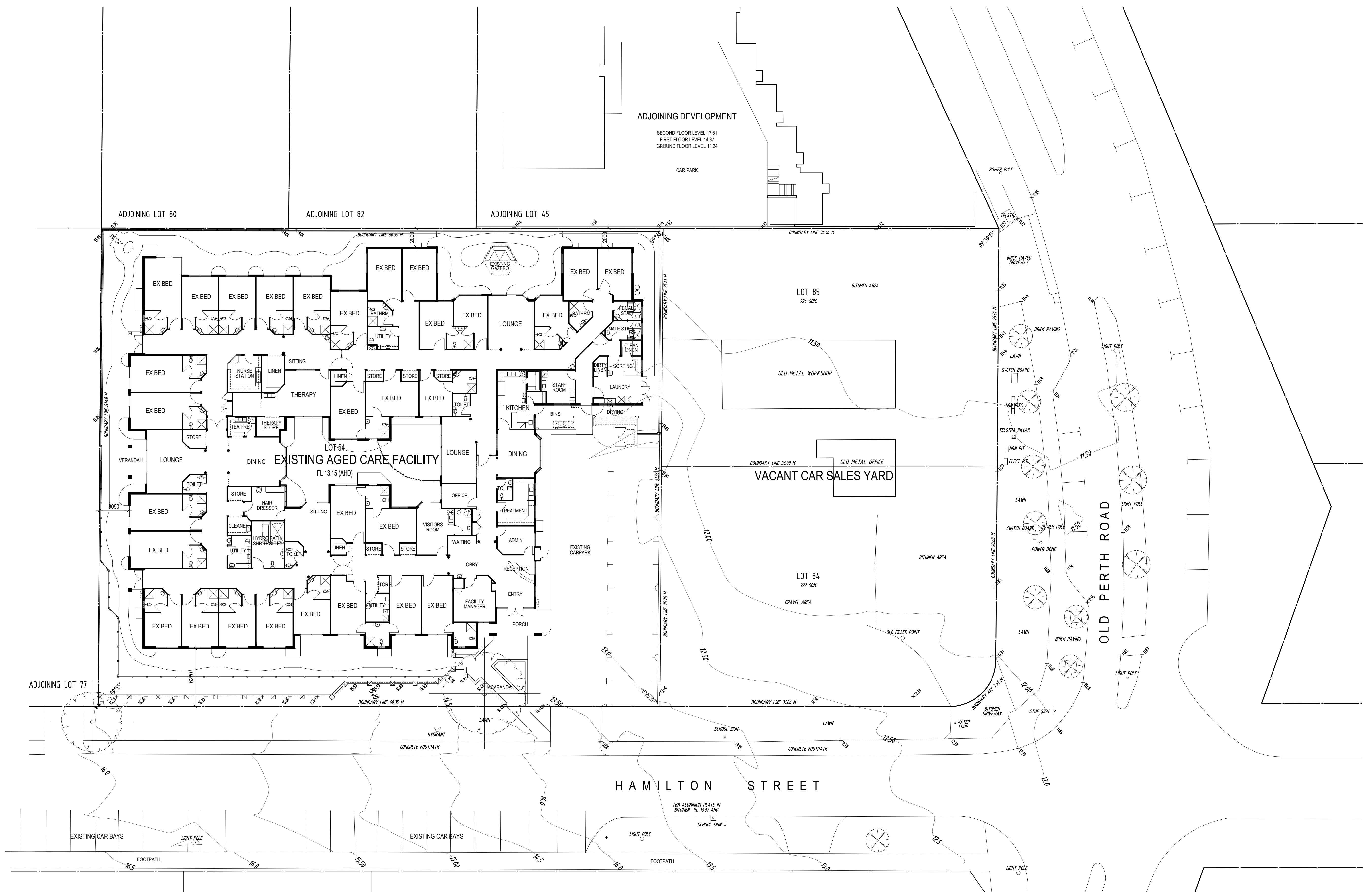
" The available geological map for the area indicates the site to be underlain by thin Bassendean sand over clayey soils of the Guildford Formation. The Perth groundwater atlases (1<sup>st</sup> and 2<sup>nd</sup> editions) indicate groundwater levels at the site to be between 11.5 m AHD and 2.7 m AHD respectively.

The previous geotechnical investigations conducted on the nearby sites in 2012 and 2013, reported the groundwater levels at the site to be between 0.6 m and 4.2 m below ground level which corresponds to elevations of between approximately 10.9 m AHD and 7.8 m AHD.

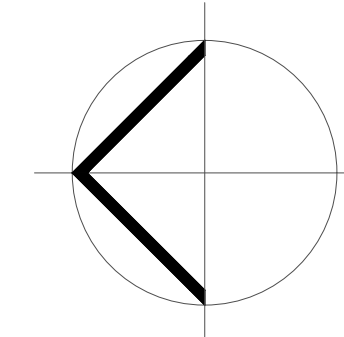
The site surface slopes to the east from approximately 13 m AHD at the northwest corner to approximately 11.5 m AHD at the southeast corner of the site.

Due to the possible presence of clayey soils at shallow depth it is very unlikely that the site will be suitable for the stormwater disposal at the site.

The stormwater will likely be discharged into the public stormwater system using subsoil drains installed at the site perimeter to prevent accumulation of groundwater on the top of the low permeability clayey soils. "



SITE PLAN 1:200



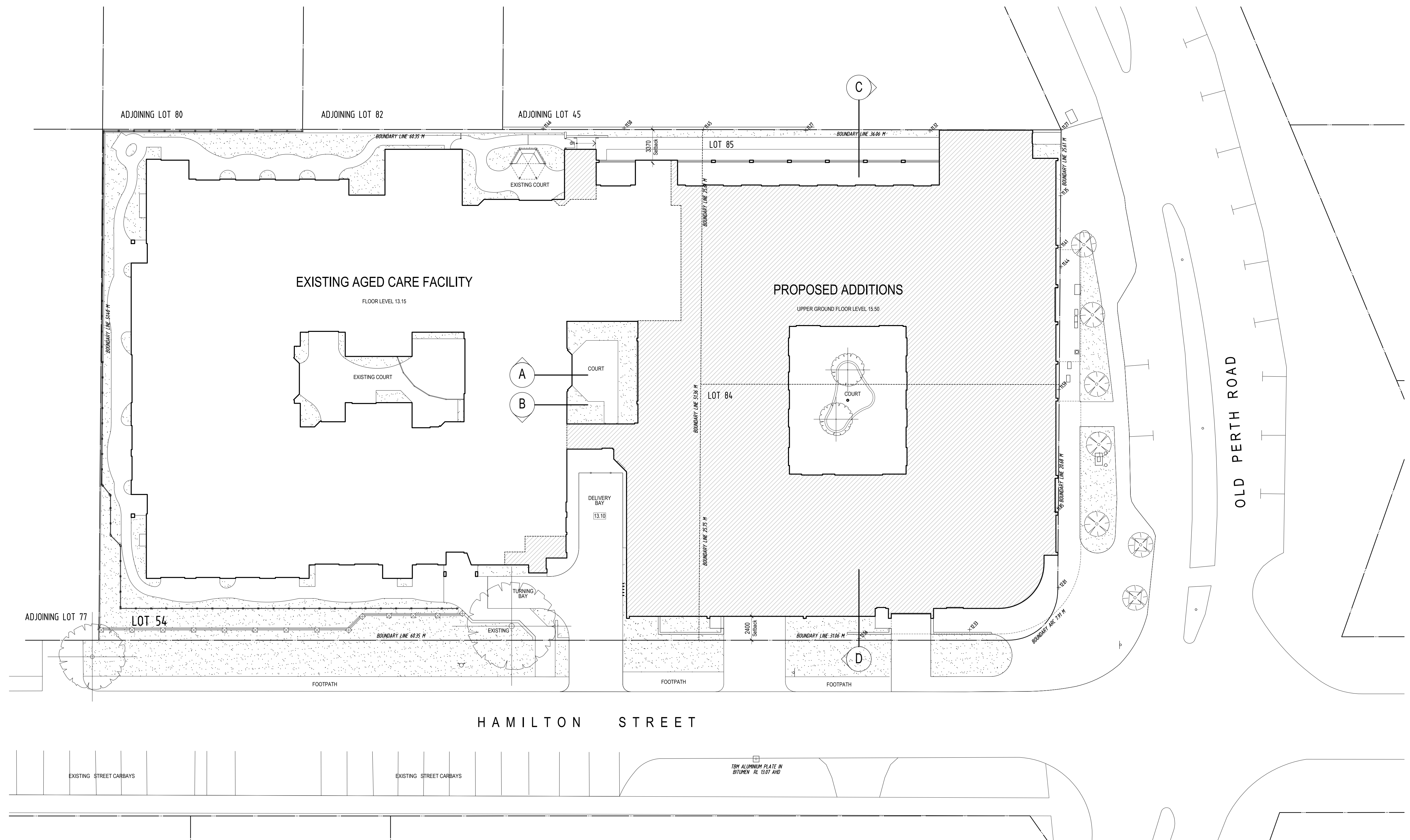
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**SITE ANALYSIS PLAN**  
AGED CARE GROUP PTY LTD  
BASSEDEAN AGED CARE, ALTERATIONS AND ADDITIONS  
LOTS 54, 84 & 85 OLD PERTH ROAD  
BASSEDEAN  
TOWN OF BASSEDEAN

**19.15**  
JOB NO MGA  
DRAWN MGA  
SCALE 1:200

**EX1**  
DRG NO  
DATE JULY 2020  
ISSUE D.A.

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SITE PLAN 1:200

# AEGIS BASSENDEAN ALTERATIONS & ADDITIONS

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CLIENT  
JOB  
SITE

**SITE PLAN**  
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LOTS 54, 84 & 85 OLD PERTH ROAD  
BASSENDEAN  
TOWN OF BASSENDEAN

JOB NO  
DRAWN  
SCALES

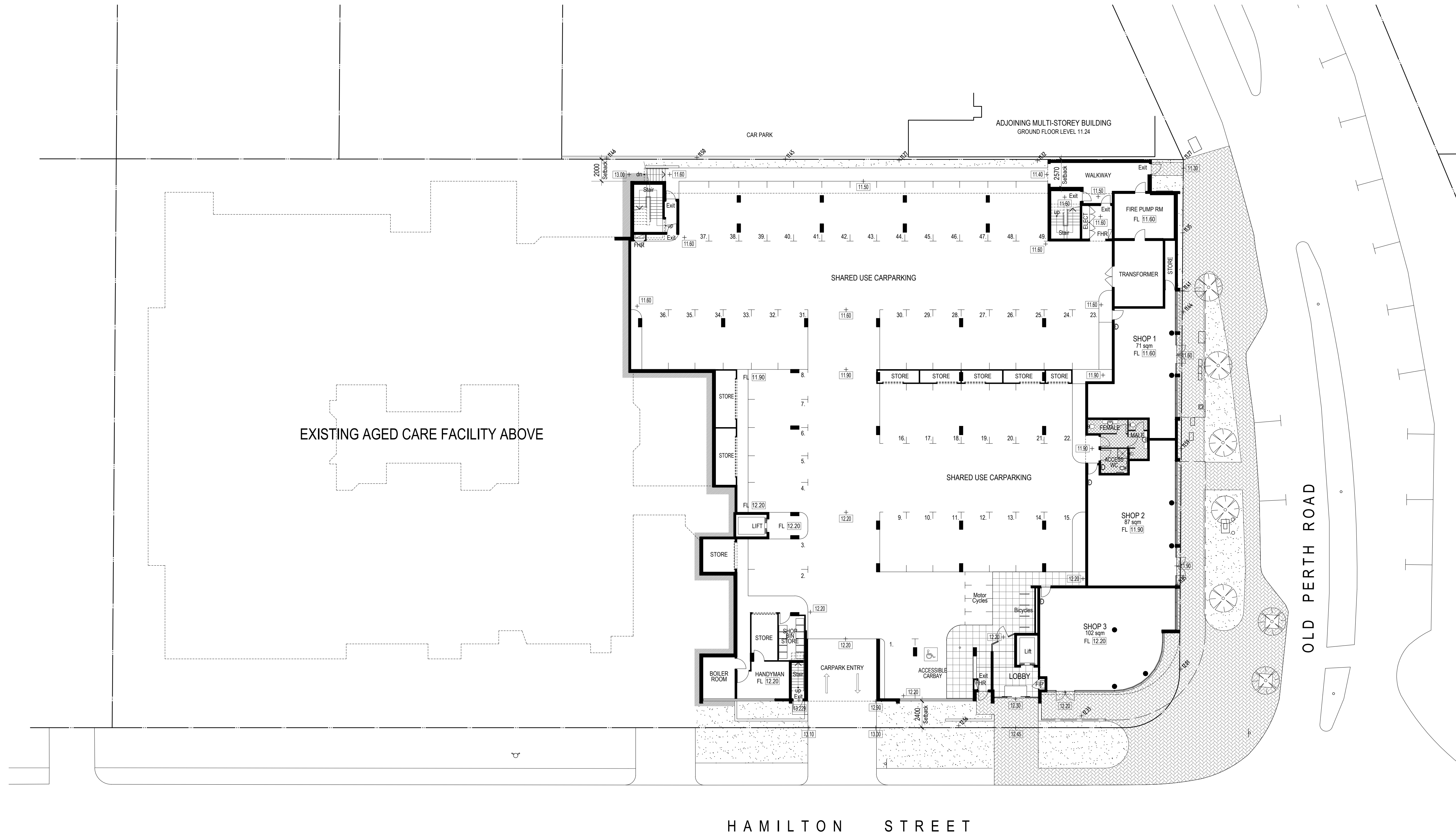
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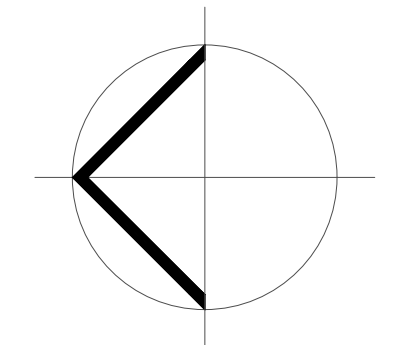
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LOWER GROUND FLOOR 1:200

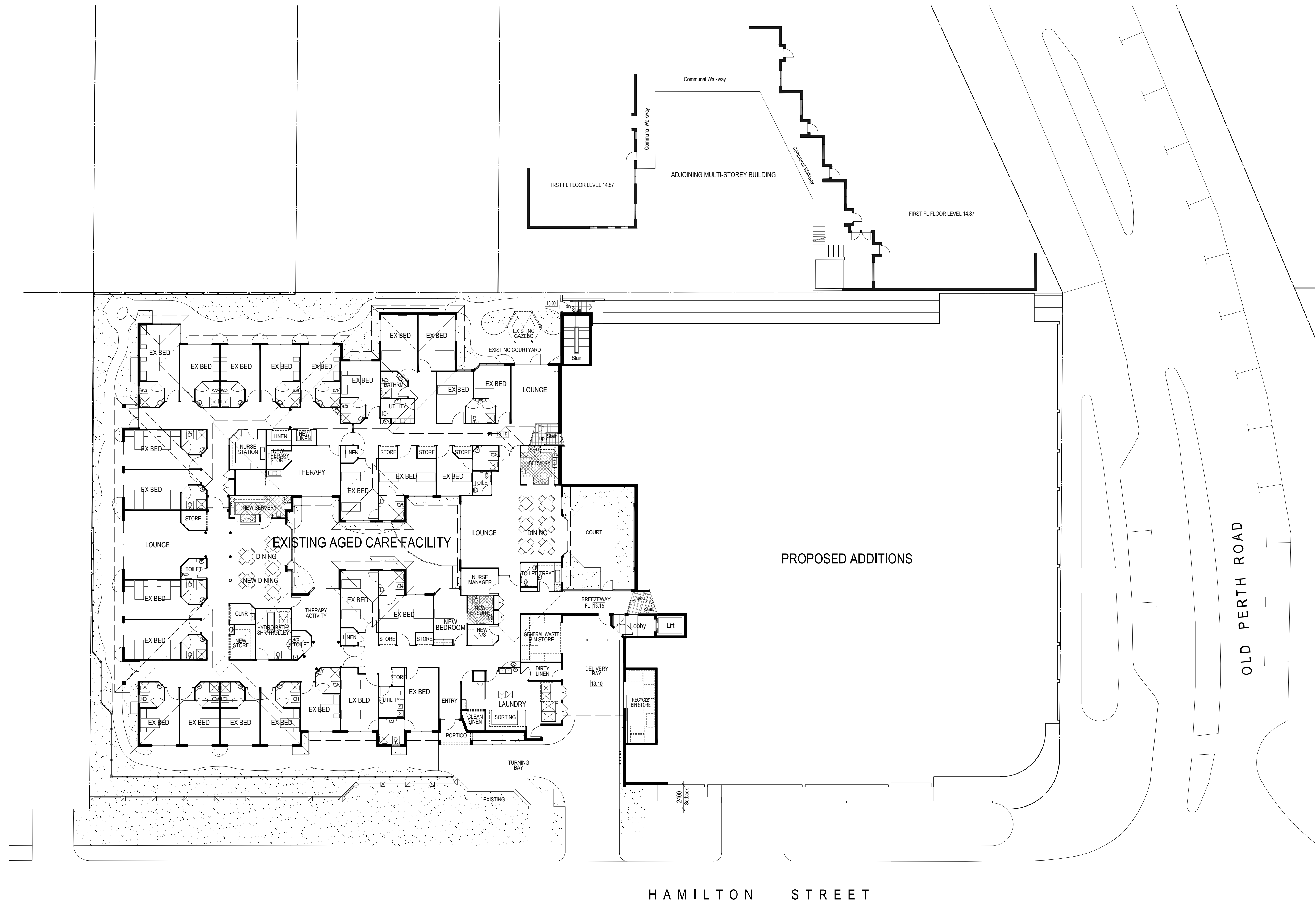


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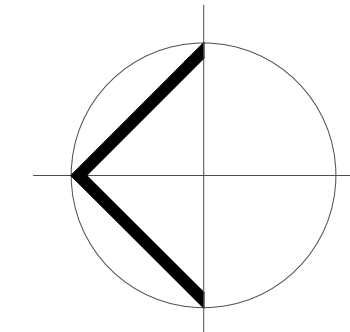
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DRAWING NO. **19.15**  
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JOB: BASSENDEAN AGED CARE, ALTERATIONS AND ADDITIONS  
SITE: LOTS 54, 84 & 85 OLD PERTH ROAD  
BASSENDEAN  
TOWN OF BASSENDEAN

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DATE: JULY 2020  
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UPPER GROUND FLOOR 1:200



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JOB

SITE

UPPER GROUND FLOOR

AGED CARE GROUP PTY LTD

BASSEDEAN AGED CARE, ALTERATIONS AND ADDITIONS

LOTS 54, 84 & 85 OLD PERTH ROAD  
BASSEDEAN  
TOWN OF BASSEDEAN

JOB NO

19.15

DATE

JULY 2020

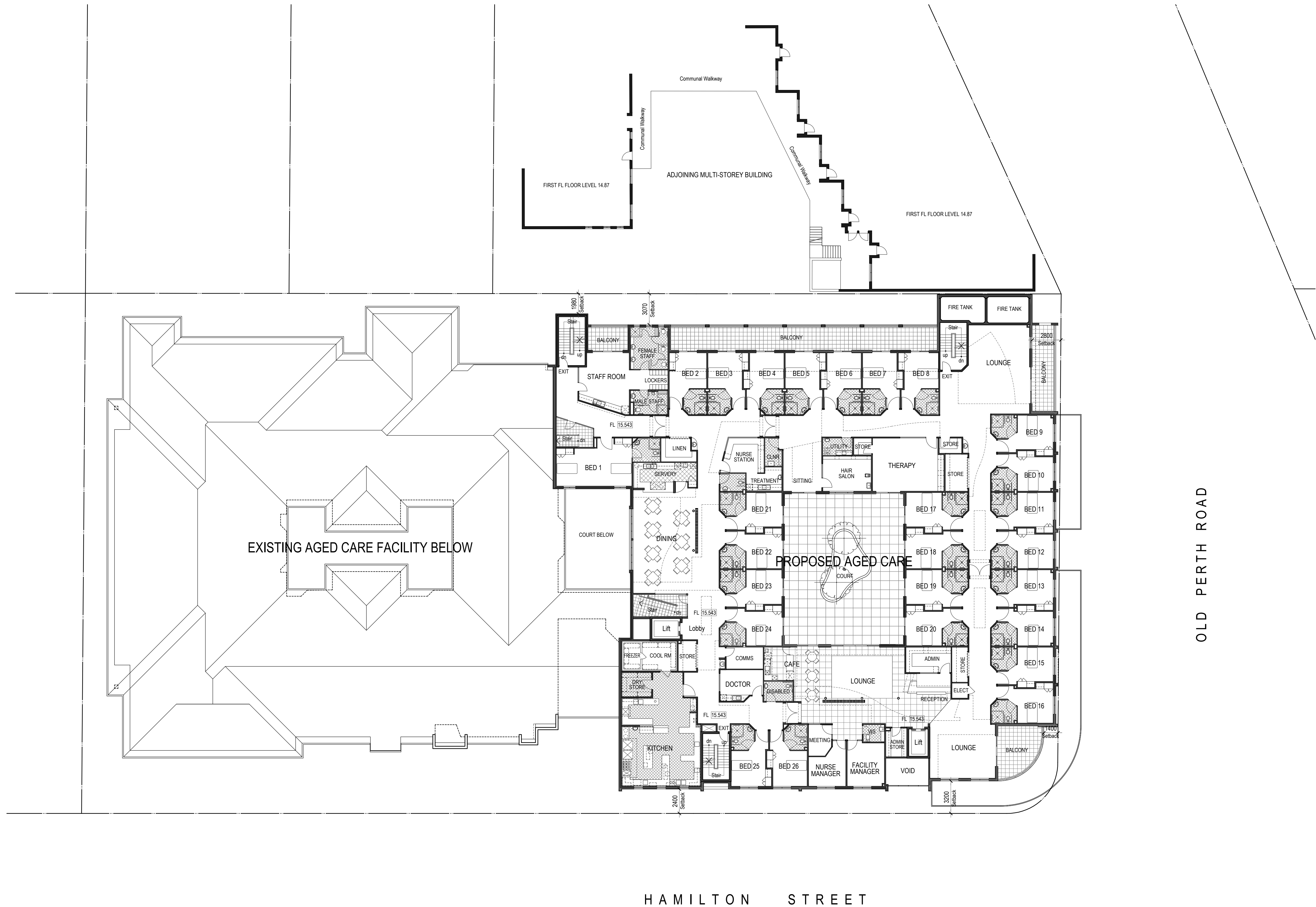
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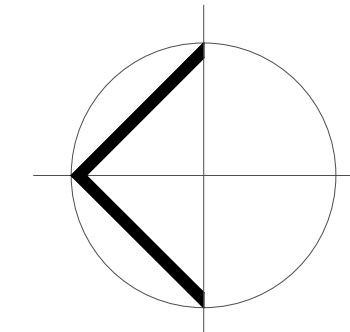
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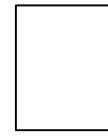
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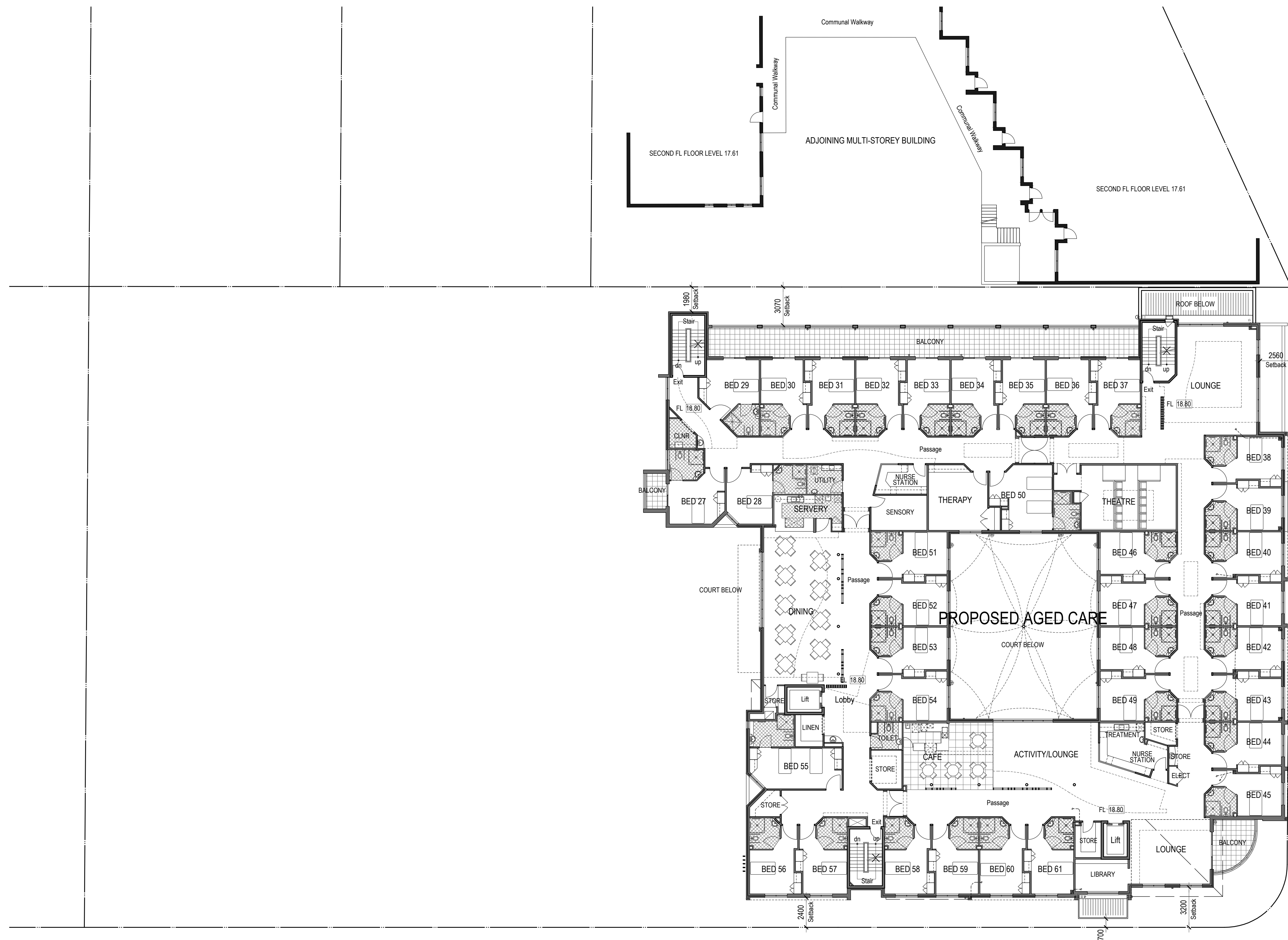
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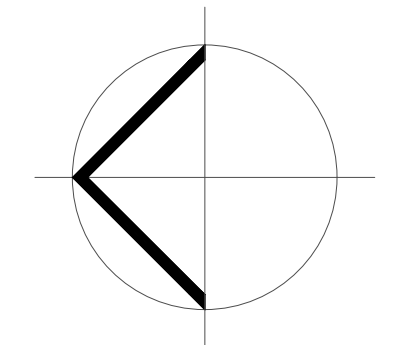
FIRST FLOOR PLAN 1:200



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DRAWING	FIRST FLOOR PLAN	JOB NO	19.15
CLIENT	AGED CARE GROUP PTY LTD	DRAWN	MGA
JOB	BASSEDEAN AGED CARE, ALTERATIONS AND ADDITIONS	DATE	JULY 2020
SITE	LOTS 54, 84 & 85 OLD PERTH ROAD BASSEDEAN TOWN OF BASSEDEAN	ISSUE	D.A.
Contractor must verify all Dimensions before commencing Work or Shop Drawings			
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SECOND FLOOR PLAN 1:200



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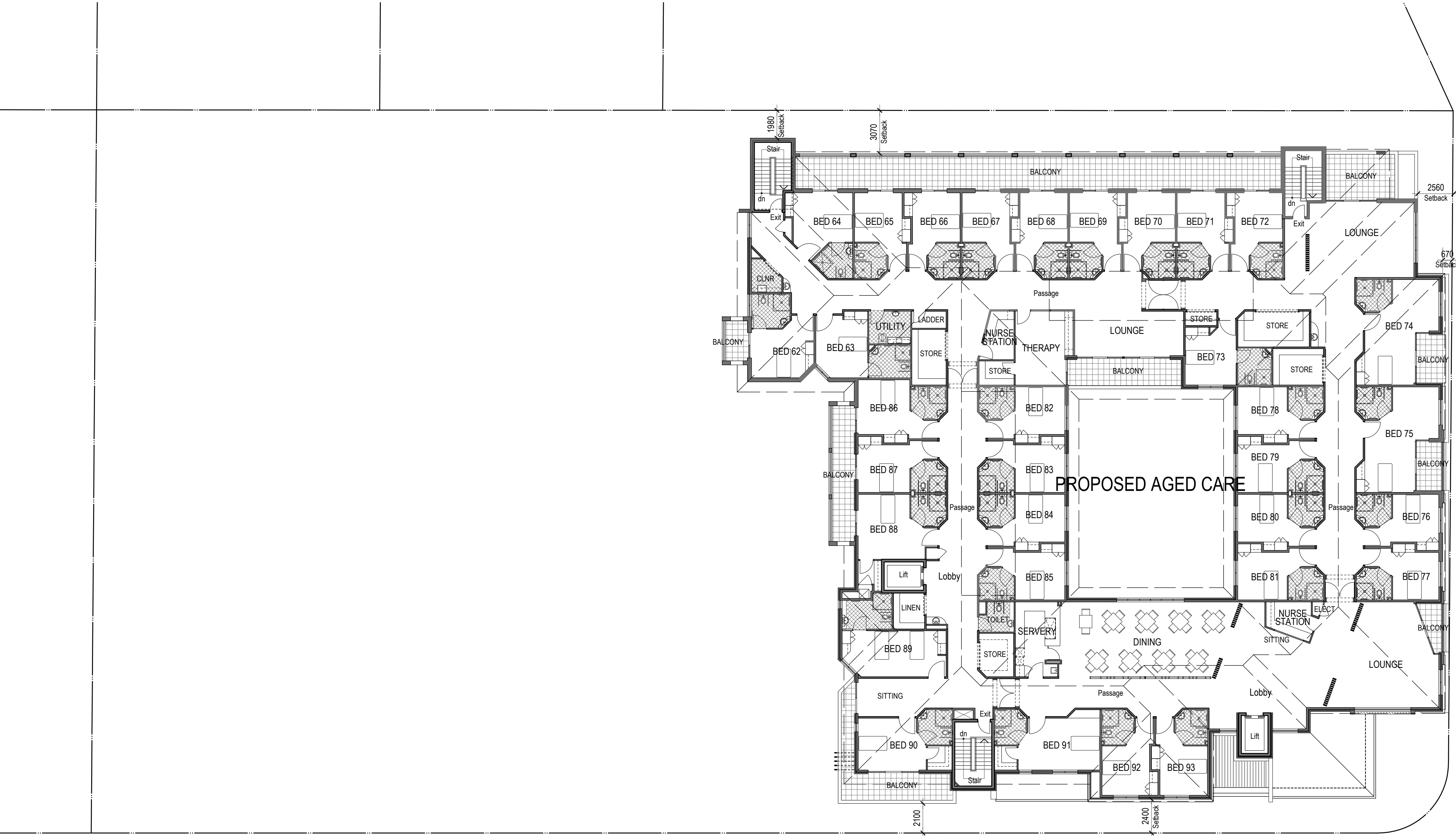
**SECOND FLOOR PLAN**  
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LOTS 54, 84 & 85 OLD PERTH ROAD  
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TOWN OF BASSEDEAN

JOB NO **19.15**  
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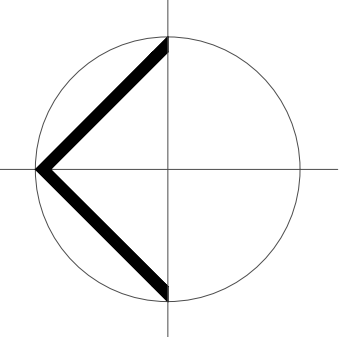
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THIRD FLOOR PLAN 1:200



THIRD FLOOR PLAN

AGED CARE GROUP PTY LTD

BASSEDEAN AGED CARE, ALTERATIONS AND ADDITIONS

LOTS 54, 84 & 85 OLD PERTH ROAD

BASSEDEAN

TOWN OF BASSEDEAN

DRAWING

CLIENT

JOB

SITE

JOB NO

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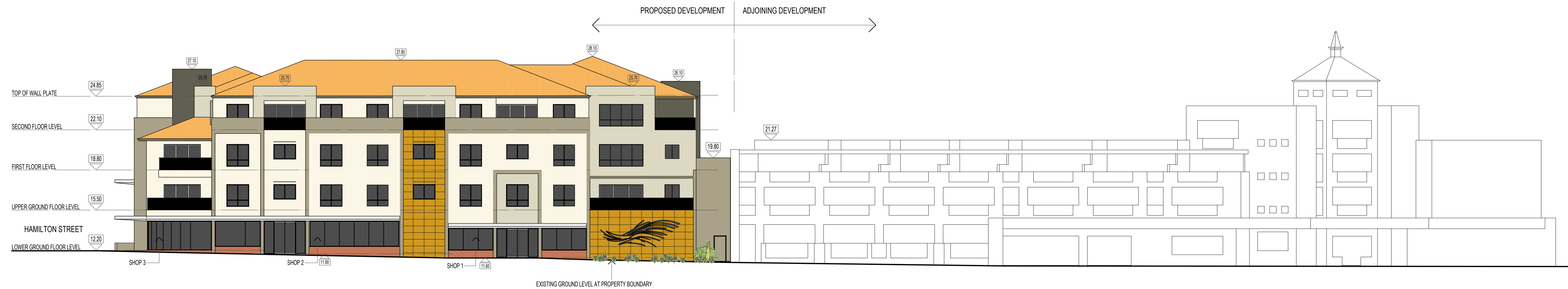
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FAX: 9227 6346

A.C.N. 009 072 593

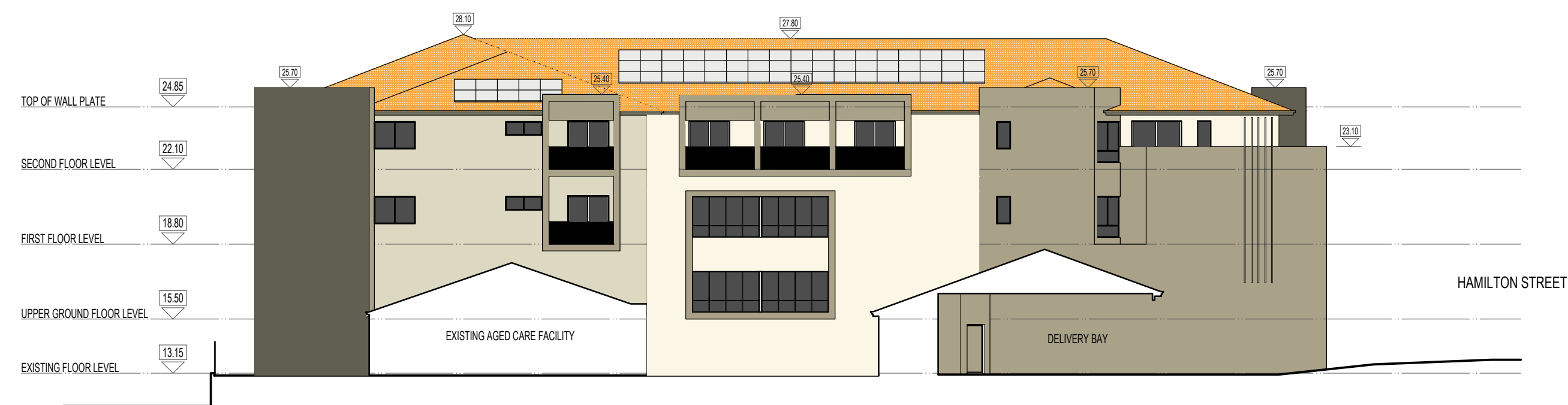




SOUTH ELEVATION (OLD PERTH ROAD)



WEST ELEVATION (HAMILTON STREET)

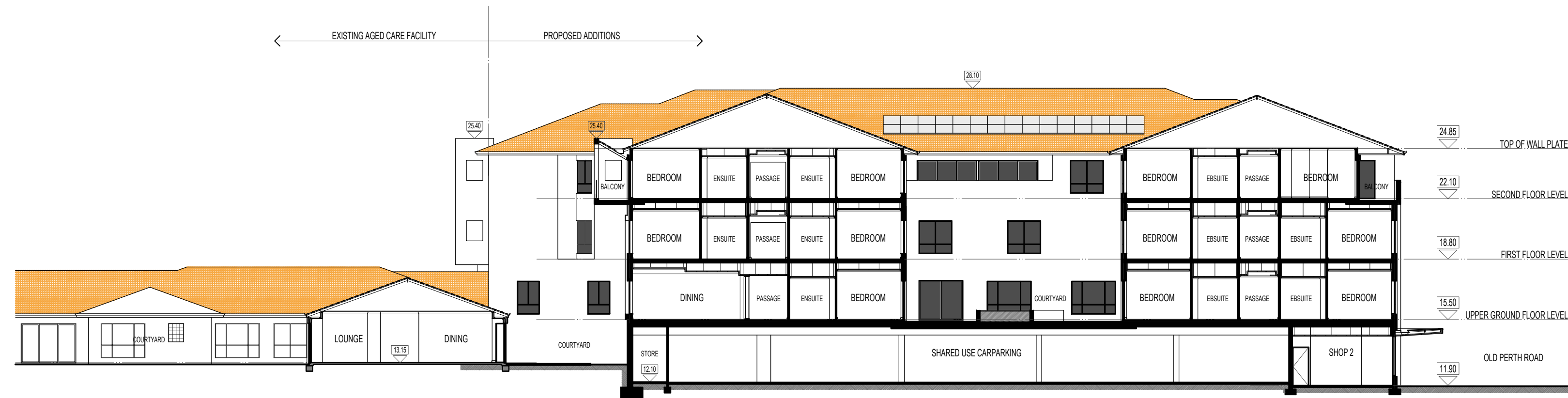


NORTH ELEVATION

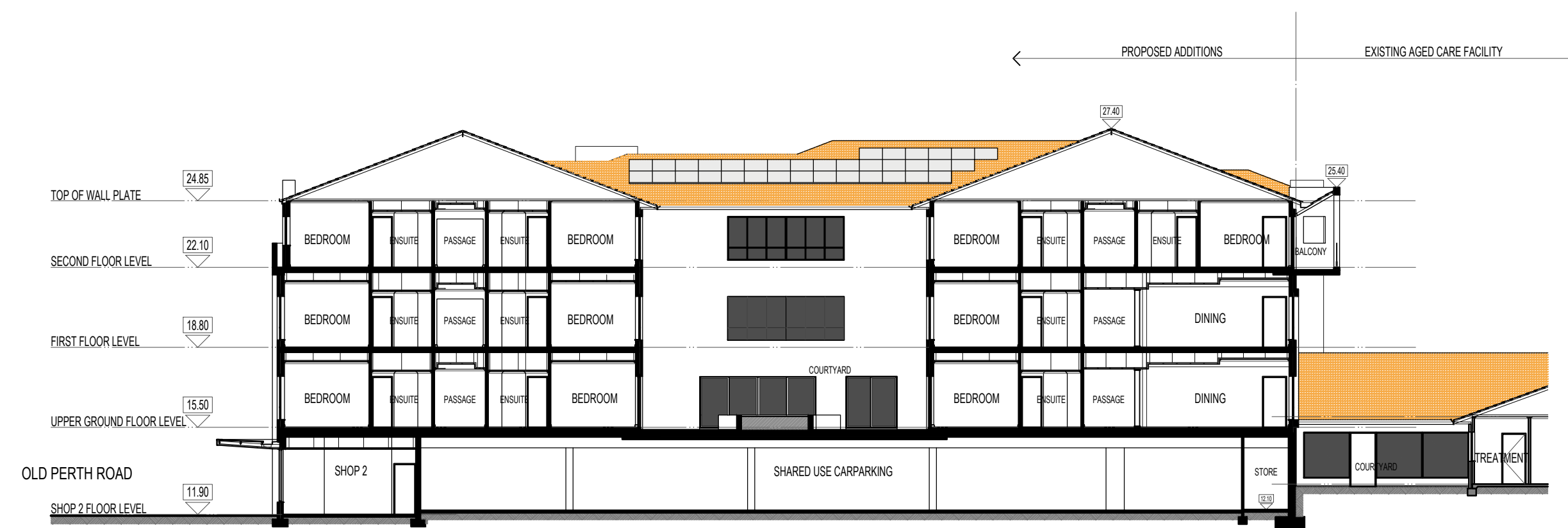


EAST ELEVATION

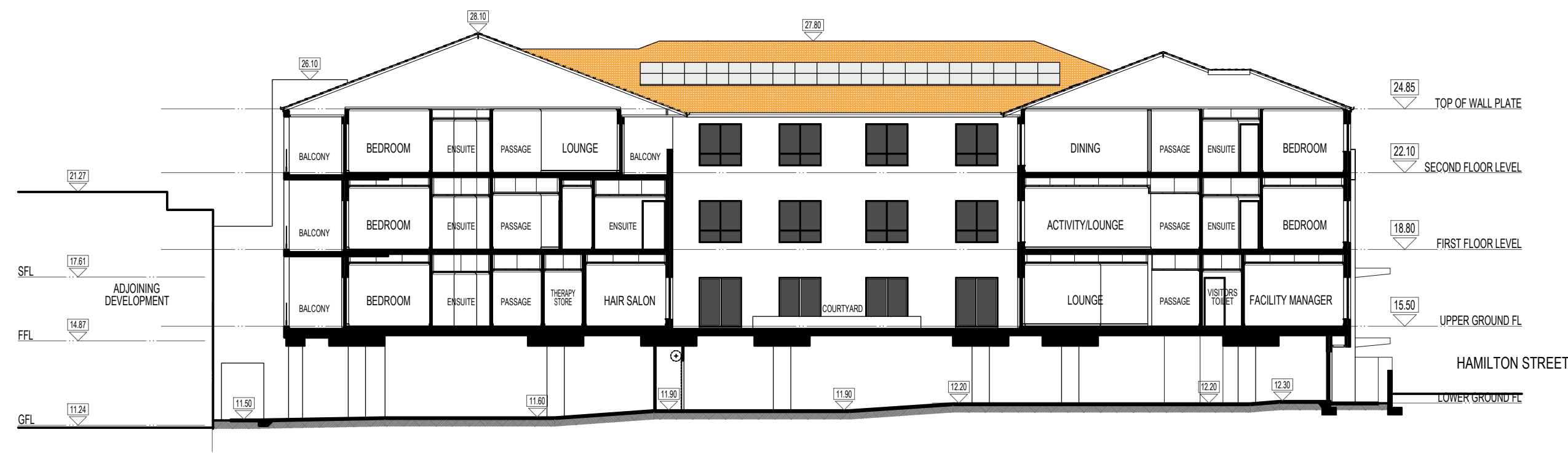




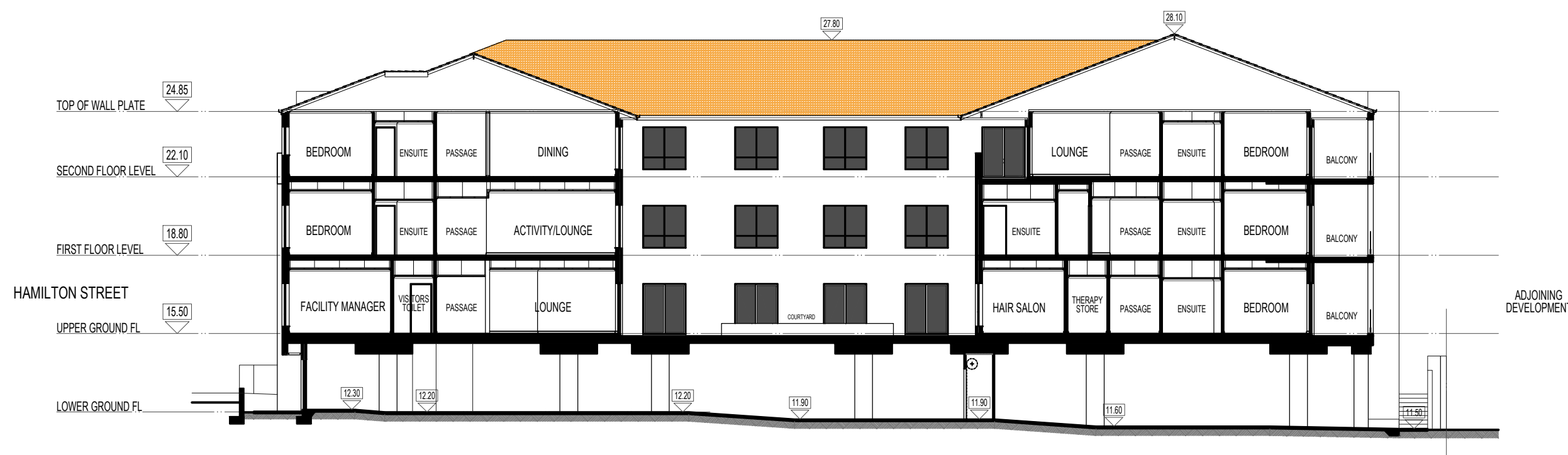
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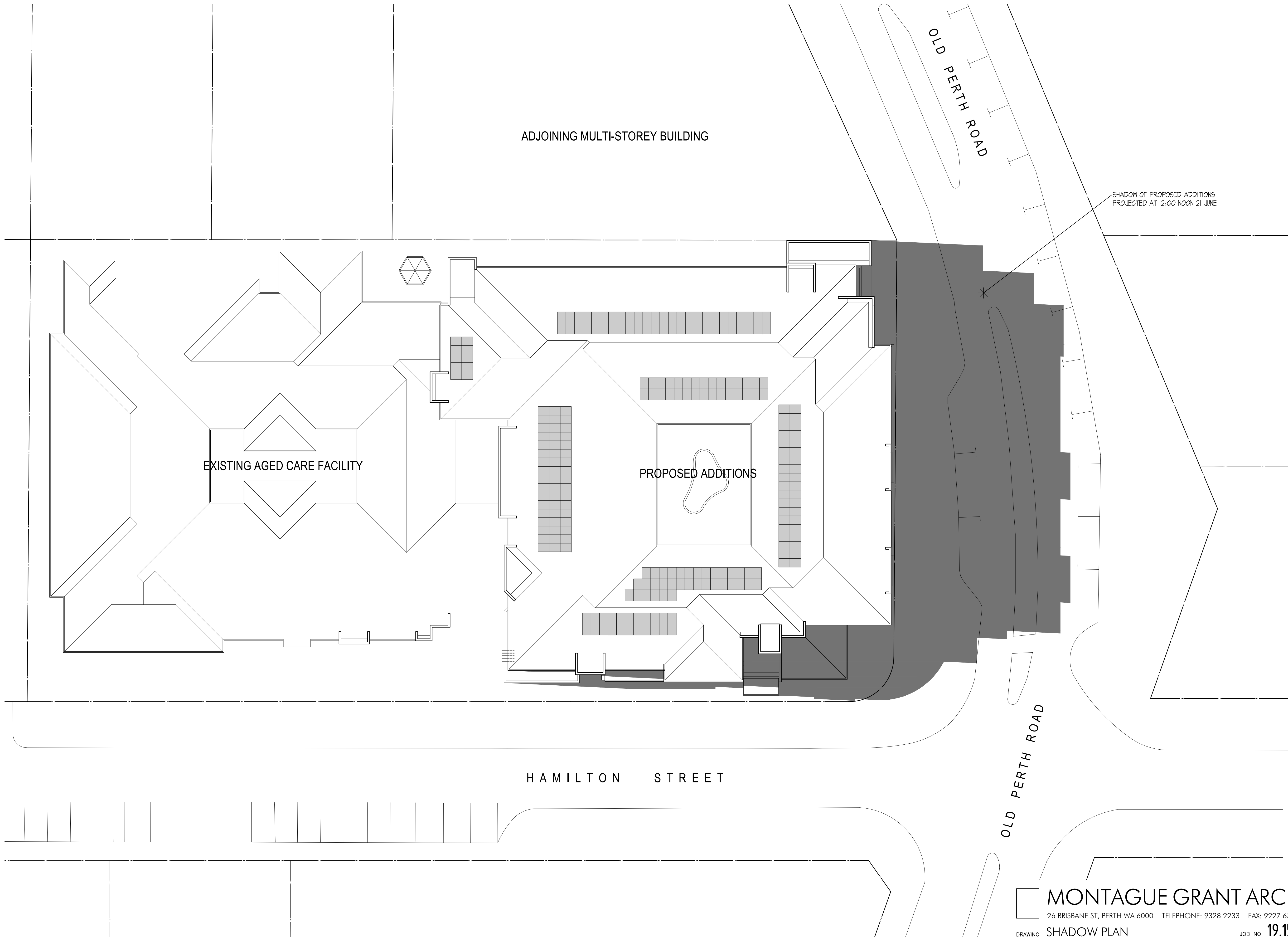
SECTION B



SECTION C



SECTION D



SHADOW PLAN 1:200

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DRAWING

CLIENT

JOB

SITE

SHADOW PLAN

AGED CARE GROUP PTY LTD

BASSEDEAN AGED CARE, ALTERATIONS AND ADDITIONS

LOTS 54, 84 & 85 OLD PERTH ROAD  
BASSENDEAN  
TOWN OF BASSENDEAN

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### Schedule of Submissions

#### Joint Development Assessment Panel Application - Aged Care Facility & Commercial Lot 54 (27) Hamilton Street, Lots 84 (68) & 85 (70) Old Perth Road, Bassendean

<b>1</b>	<b>Affected Property:</b> 14 Palmerston Street Bassendean WA 6054	<b>Postal Address:</b> 14 Palmerston Street BASSENDEAN WA 6054
Summary of Submission		Comment
Support the proposal		
1.1	I believe this would be a much better use of space than the current existing parking lot. It would also help to provide varied accommodation for people of all ages in our town centre.	Noted.

<b>2</b>	<b>Affected Property:</b> 59 West Road Bassendean WA 6054	<b>Postal Address:</b> 59 West Road BASSENDEAN WA 6054
Summary of Submission		Comment
Support the proposal		
2.1	I support the any development that brings life to the dead land that has been there for years and I'm happy this development will include Commercial on the bottom floor which will hopefully end up a shop that will bring people to the street. Just to Note I wouldn't have had any problems with a 5th story with apartments.	Noted.

<b>3</b>	<b>Affected Property:</b> 13 Hamilton Street Bassendean WA 6054	<b>Postal Address:</b> 13 Hamilton Street BASSENDEAN WA 6054
Summary of Submission		Comment
Support the proposal		
3.1	I fully support the council getting behind this and not putting onerous or green conditions on this approval. Allow private industry to conduct its Business without the heavy burden of green tape and allow us to create jobs.	Noted.

<b>4</b>	<b>Affected Property:</b> 19 Mann Way	<b>Postal Address:</b> 19 Mann Way
----------	--	---------------------------------------

	Bassendean WA 6054	BASSENDEAN WA 6054
Summary of Submission		Comment
Support the proposal		
4.1	Support the proposal	Noted.

<b>5</b>	<b>Affected Property:</b> 2/50 Cyril Street Bassendean WA 6054	<b>Postal Address:</b> 2/50 Cyril Street BASSENDEAN WA 6054
Summary of Submission		Comment
Support the proposal		
5.1	My father was a resident here last year before he passed away and we can't speak highly enough of the facility and the care he received by the amazing staff here. I absolutely feel that a bigger facility would be wonderful for the staff and residents and would enable more elderly people in the same situation as my father, to experience the best care that AEGIS can offer.	Noted.

<b>6</b>	<b>Affected Property:</b> 8 Carnegie Road Bassendean WA 6054	<b>Postal Address:</b> 8 Carnegie Road BASSENDEAN WA 6054
Summary of Submission		Comment
Comment on the proposal		
6.1	In general terms I am supportive of the application so long as it complies with the requirements imposed by bodies such as the government departments that regulate provision and management of aged care facilities. Having said that, however, it is certainly not a facility in which I would want to spend time as a resident nor a place in which I would want a relative of mine housed and cared for. One of the main reasons for this is the paucity of access to the outside of the building, especially at ground level and therefore garden level. I also note the miniscule size of the library and other recreational areas. However, if they are compliant with the requirements imposed by aged care regulating bodies, that is perhaps what we have to put up with. I do appreciate that it would be beneficial to have more aged care facilities in Bassendean. I noted in the copy of the application document provided by the Town:	Noted.

6.2	1. On pages 16 and 17, the information regarding plans for bins for the commercial tenancies is out of date in view of the Town's adoption of the 3 bin FOGO system. This part of the application should be updated and perhaps the areas set aside for the bins should be increased in view of the introduction of the three bin system and the general tendency in other interstate and international jurisdictions to require the use of an increasing number of bins for different waste streams, sorted at the source premises.	Agreed. A condition requiring an updated waste management plan to ensure adequate space for bins, and an advice note recommending the adoption of the Food Organics Garden Organics system (currently only applicable to residential properties) has been recommended.
6.3	2. In regards to the footpath width allowance where the commercial tenancy bins are to be set out for collection, as shown in the illustrations of the buildings seen from Hamilton Street, this is inadequate to have the bins at the kerbside and simultaneously allow passage by pedestrians and/or shoprider type vehicles two-abreast. My view is that this kerbside paved footpath should be at least 2.5 metres in width.	Noted. The updated waste management plan will provide details on method of collection of bins. Should additional space be required for bin collection, this can be incorporated into the design as part of the Building Permit process.
6.4	I note that the claimed approved Landscape Plan which was indicated to be attached was in fact, not attached.	Noted. A condition requiring an updated landscaping plan has been recommended.

<b>7</b>	<b>Affected Property:</b> 202/80 Old Perth Road Bassendean WA 6054	<b>Postal Address:</b> 202/80 Old Perth Road BASSENDEAN WA 6054
Summary of Submission		Comment
Object to the proposal		
7.1	I would like to submit that the development should be rejected for the following reasons: 1. The Town's stated aim, per the Thrive Budget Edition 2020/21, under the Priorities for 2020-21, clearly note that the "projects funded this year include: Town Centre Master Plan to attract investment and fulfil the community's vision for a vibrant Town centre with diversity of housing, jobs, prospering small businesses, social amenity and connection in the Old Perth Road and train station precinct." This revised application has removed the already restricted (by age) housing component, would have questionable social amenity and would be a poor use of the location within the catchment of the train station. Additionally, Old Perth Road already suffers from a disconnect between the train station end and the	Noted. The Town is in the process of preparing a Town Centre Masterplan, which will be used to inform the future planning framework for the Town Centre. Notwithstanding, the proposal is required to be assessed against the current planning framework applicable. The proposed development is considered to comply with the objectives of the Town Centre zone in that it accommodates a diversity of residential facilities and commercial facilities – being aged accommodation and three commercial tenancies.

	<p>West Road end, due to the mix of properties between the lower and upper areas, which have most of the activation in terms of small businesses and activity outside of standard business hours. While there is a likelihood of an increase in jobs within Aegis, no guarantee is given that these will be local jobs, nor that this will be a significant increase based upon the noted variances in staffing levels between Private and Public Aged care facilities.</p>	
7.2	<p>2. The above point is further relevant when considered in conjunction with the ongoing development of the Whitfield Street Safe Active Street project. The stated aim of this project is to encourage cycling and walking. This application is highly unlikely to utilise this project, despite it being one of the few free parcels of land near the Active Street that could be utilised for residential purposes, as it no longer has any residential component and the likelihood is that any workers would be coming from either the train station or via car. While there could potentially be some utilisation by local residents who may have family within the car centre, there is also minimal guarantee of that occurring when weighed against a residential development on that local, especially when Bassendean Primary School can be entered from Whitfield Street.</p>	<p>The proposed land uses are both uses that can be considered in the Town Centre Zone. There are no provisions within the Local Planning Framework to mandate the inclusion of residential development, and the Town must consider the proposal on its merits.</p>
7.3	<p>3. Further to the above two points, the Town of Bassendean's Local Planning Scheme No. 10 notes that the Town Centre Zone should facilitate entertainment, maintain the civic, drive-by commercial and town centre living uses between Wilson Street and Whitfield Street, encourage a diversity of commercial, cultural and residential facilities, and that it conforms with the Local Planning Strategy. It is unlikely that this development will facilitate entertainment, and given the history of entertainment in Subiaco, Claremont and to a degree Northbridge, whereby people moved in across from bars, clubs and other such entertainment, it would appear to be a development that, by virtue of being closer to the current bars and takeaway stores between Whitfield and Hamilton, could cause a potential conflict. It is questionable as to whether this is a living use or a drive-by commercial use, and as it's also an extension of an existing commercial</p>	<p>The proposed commercial tenancies could in future be used for small bars or other entertainment land uses, as such uses are either permitted or discretionary within the Town Centre zone.</p> <p>In respect to potential conflict, the use of the tenancies is required to comply with the <i>Environmental Health (Noise) Regulations 1997</i>.</p>



	<p>facility, it should not be considered to encourage diversity of facilities.</p>	
7.4	<p>The Local Planning Strategy notes that the population objectives are supported by infill housing and also notes that 3000 new dwellings are outlined within the Sub Regional Strategy for Central Metropolitan Perth. This development now does not fulfil either criteria. The Strategy also notes that medium density should be restricted to areas that do not damage the character of the neighbourhood and that proximity to public transport should help inform the use of medium/high density. This location falls within the 800m walkable area and, if considered residential housing as opposed to commercial care, remains restricted in use to only a portion of the population. While this strictly conforms, it is questionable as to whether it meets the principles of the Strategy.</p>	<p>On 19 June 2020, the Western Australian Planning Commission advised that it had considered the Report of Review of the Local Planning Strategy and Local Planning Scheme, and agreed with the recommendations in the report to review the Local Planning Strategy and prepare a new Scheme. These documents will be updated to align with the State Planning Framework, including density targets proposing under Pert and Peel @ 3.5 million.</p> <p>Notwithstanding, whilst the Town can provide for residential land uses, it cannot mandate residential development.</p>
7.5	<p>4. The original application was lodged while the Design WA guidelines were still in draft format. Design WA Stage 1 became operational from the 24th of May, 2019, post the previous application. While the proposed development is not an apartment building, the construction of said facility has a direct impact on the apartment building next to it. The previous application had multiple aspects that seemed unlikely to meet the guidelines from a mixed use development and would have caused the adjacent building to suffer conflict with those guidelines, including, but not limited to section 3.5 where the 9.5m quoted within the Aegis documents does not appear to be measured from the balcony, which should be considered when referring to visual privacy.</p>	<p>The requirements of State Planning Policy 7.3 – Residential Design Codes (Volume 2 – Apartments) are not applicable in this instance as the proposed development does not incorporate multiple dwellings.</p> <p>The proposal has been considered against the principles of Design WA, and is considered acceptable.</p>

<b>8</b>	<p><b>Affected Property:</b> N/A</p>	<p><b>Postal Address:</b> Department of Water and Environmental Regulation</p>
Summary of Submission		Comment
Support the proposal		
8.1	<p>I refer to your email of 17 August 2020 to the Department of Water and Environmental Regulation (the department) regarding an application to the Town of Bassendean (the Town) for</p>	Noted.

	<p>the proposed development of the above land.</p> <p>As per the requirements under section 58(6)(b) of the Contaminated Sites Act 2003 (CS Act), advice is required as to the suitability of the land for the proposed extension of the existing aged care facility at Lot 54 (no. 27) Hamilton Street. The development is understood to include construction of a four-story building incorporating a basement level carpark, ground floor commercial use, and aged care on upper levels. The department notes that the development application will be determined by the Metro- Central Joint Development Assessment Panel (JDAP).</p>	
8.2	<p>Under the CS Act, the department classified land at Lot 84 and Lot 85 on Plan 1786, as shown on certificates of title 1631/156 and 1496/999 respectively, as possibly contaminated – investigation required on 2 November 2017 and a memorial was placed on the certificates of title.</p> <p>The classification was based on the findings of soil and groundwater investigations undertaken in 2015 to assess the suitability of Lots 84 and 85 for the proposed extension of the aged care facility. The investigations identified a variety of contaminants, including metals and hydrocarbons (such as from petrol or diesel), in soil and/or groundwater associated with the former use of these lots as a service station and for motor vehicle servicing. Information currently available to the department indicates that further assessment and management of site contamination is required to demonstrate that land at Lots 84 and 85 is suitable for the proposed development for aged care. Lot 54 Hamilton Street has not been reported or classified under the CS Act and the department holds no information relevant to the contamination status of Lot 54. The department notes that most of the proposed development is to occur on Lots 84 and 85.</p>	Noted.
8.3	<p>The department understands that the current application (DA20-082) is largely consistent with a previous application which was conditionally approved in 2018 (DAP/18/1379). Condition 31 of JDAP approval no. DAP/18/1379 requires the assessment of potential contamination prior to subdivision works,</p>	Noted. Condition has been included in the recommendation.

and the remediation and validation of contamination if required. Consistent with the existing approval, the department recommends the following contamination condition and advice are applied to any approval granted, consistent with condition EN9 and advice ENa2 as published in 'Model Subdivision Conditions Schedule' (Department of Planning, Lands and Heritage; WAPC, May 2020). The department is aware that appropriate actions have commenced, such as the engagement of an accredited contaminated sites auditor, to comply with such a condition.

Condition X

a) Prior to commencement of development works, investigation for soil and groundwater contamination is to be carried out to determine if remediation is required.

b) If required, remediation, including validation of remediation, of any contamination identified shall be completed prior to completion of construction works to the satisfaction of the Western Australian Planning Commission on advice from the Department of Water and Environmental Regulation, to ensure that the site is suitable for the proposed use.

Investigations and remediation are to be carried out in compliance with the Contaminated Sites Act 2003 and current Department of Water and Environmental Regulation contaminated sites guidelines. (Department of Water and Environmental Regulation)

8.4

Advice

The site is located within an area identified as having a moderate to low risk of acid sulfate soils occurring within 3 metres of the natural soil surface, but high to moderate risk of acid sulfate soils beyond 3 metres below the natural soil surface. The department notes that a similar development nearby to this site required active management of acid sulfate soils. Given that the proposed development involves the construction of a basement level carpark, it is likely that acid sulfate soil disturbance will occur through soil excavation and dewatering activities. Consistent with the previous JDAP approval, the department

Noted. An advice note has been included in the recommendation

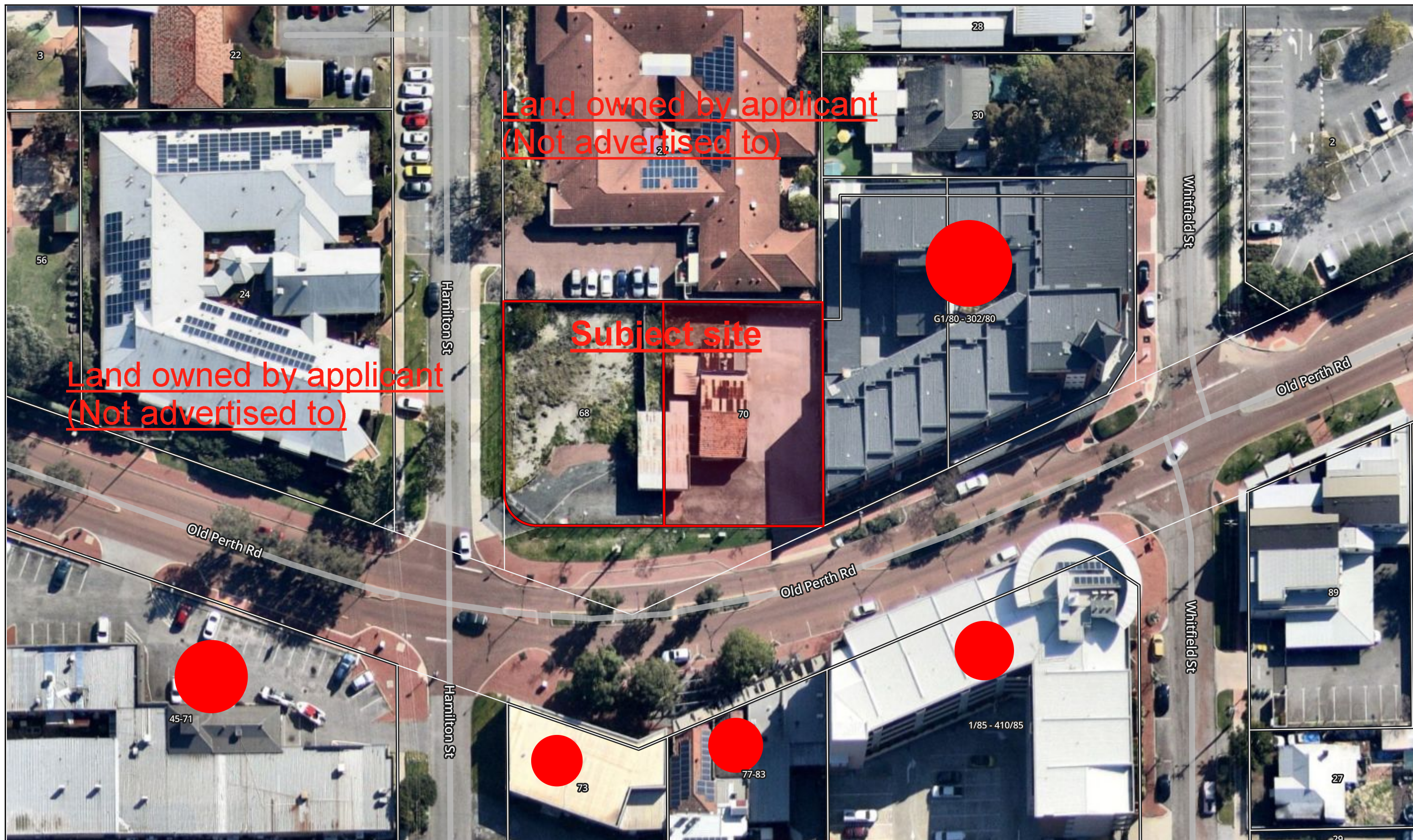


	<p>recommends that the following acid sulfate soils condition and advice note be applied, consistent with condition EN8 and advice ENa1, as published in 'Model subdivision conditions schedule' (Department of Planning, Lands and Heritage; WAPC, May 2020).</p>	
8.5	<p>In relation to Condition [X] and in accordance with regulation 31(1)(c) of the Contaminated Sites Regulations 2006, a Mandatory Auditor's Report, prepared by an accredited contaminated sites auditor, will need to be submitted to the Department of Water and Environmental Regulation as evidence of compliance with Condition [X]. A current list of accredited auditors is available from <a href="http://www.dwer.wa.gov.au">www.dwer.wa.gov.au</a></p>	Noted. An advice note has been included in the recommendation.
8.6	<p>Condition X</p> <p>a) An acid sulphate soils self-assessment form and, if required as a result of the self-assessment, an acid sulphate soils report and an acid sulphate soils management plan shall be submitted to and approved by the Department of Water and Environmental Regulation before any development works are commenced. Where an acid sulphate soils management plan is required to be submitted, all development works shall be carried out in accordance with the approved management plan. (Department of Water and Environmental Regulation)</p>	Noted. A condition has been included in the recommendation.
8.7	<p>Advice</p> <p>Condition [X] makes reference to an "acid sulphate soils self-assessment form". This form can be downloaded from the Western Australian Planning Commission's website at: <a href="http://www.dplh.wa.gov.au">www.dplh.wa.gov.au</a>.</p> <p>The "acid sulfate soils self-assessment form" makes reference to the Department of Environment and Conservation's "Identification and Investigation of Acid Sulfate Soils" guideline. This guideline can be obtained from the Department of Water and Environmental Regulation website at: <a href="http://www.dwer.wa.gov.au">www.dwer.wa.gov.au</a>.</p>	Noted. An advice note has been included in the recommendation.

9	<p><b>Affected Property:</b></p> <p>N/A</p>	<p><b>Postal Address:</b></p> <p>Main Roads Western Australia</p>
<b>Summary of Submission</b>		<b>Comment</b>

<p>Support the proposal</p> <p>9.1 In response to your correspondence received 17 August 2020, Main Roads has no objections subject to the following conditions being imposed:</p> <p>1. Prior to commencement of development, electronic school speed zone signage on Hamilton Street is to be relocated to the satisfaction of Main Roads, at applicant expense.</p> <p>Advice to applicant:</p> <p>Further to the relocation of the electronic school speed zone signage, the applicant is to liaise with Main Roads Western Australia, providing detailed crossover plans, and gain Main Roads Western Australia approval prior to signage being modified. All costs associated with the works will be the cost of the developer and will be paid in full upfront, prior to commencing works. It is noted that a 6 week lead time is required for the relocation approval process. Relevant Main Roads Western Australia team can be contacted at <a href="mailto:murray.cocking@mainroads.wa.gov.au">murray.cocking@mainroads.wa.gov.au</a></p>	<p>Noted. The condition and advice note have been included in the recommendation.</p>
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Land owned by applicant  
(Not advertised to)

Land owned by applicant  
(Not advertised to)

Subject site



Town of Bassendean  
35 Old Perth Road  
Bassendean WA 6054  
Phone: 9377 8000  
Fax: 9279 4257  
Email: [mail@bassendean.wa.gov.au](mailto:mail@bassendean.wa.gov.au)

**Disclaimer:** The Town Of Bassendean accepts no responsibility for the accuracy of this image or the results of any actions taken when using this image. This map is based on information provided by and with the permission of the Western Australian Land Information Authority.

7/09/2020

Scale: 1:600







Your ref: DA20-082 / DAP/20/01833  
Our ref: DMO 8299  
Enquiries: Lomas Capelli, Ph 08 9841 0120  
Email: [Lomas.capelli@dwer.wa.gov.au](mailto:Lomas.capelli@dwer.wa.gov.au)

Donna Shaw  
Manager Planning Services  
Town of Bassendean  
PO Box 87  
Bassendean, WA 6934

By email: [mail@bassendean.wa.gov.au](mailto:mail@bassendean.wa.gov.au) and [dshaw@bassendean.wa.gov.au](mailto:dshaw@bassendean.wa.gov.au)

Dear Ms Shaw

**DEVELOPMENT APPLICATION NUMBER DA20-082, LOT 54 (NO. 27)  
HAMILTON STREET AND LOTS 84-85 (NO. 68-70) OLD PERTH ROAD,  
BASSENDEAN**

I refer to your email of 17 August 2020 to the Department of Water and Environmental Regulation (the department) regarding an application to the Town of Bassendean (the Town) for the proposed development of the above land.

As per the requirements under section 58(6)(b) of the *Contaminated Sites Act 2003* (CS Act), advice is required as to the suitability of the land for the proposed extension of the existing aged care facility at Lot 54 (no. 27) Hamilton Street. The development is understood to include construction of a four-story building incorporating a basement level carpark, ground floor commercial use, and aged care on upper levels. The department notes that the development application will be determined by the Metro-Central Joint Development Assessment Panel (JDAP).

Under the CS Act, the department classified land at Lot 84 and Lot 85 on Plan 1786, as shown on certificates of title 1631/156 and 1496/999 respectively, as *possibly contaminated – investigation required* on 2 November 2017 and a memorial was placed on the certificates of title.

The classification was based on the findings of soil and groundwater investigations undertaken in 2015 to assess the suitability of Lots 84 and 85 for the proposed extension of the aged care facility. The investigations identified a variety of contaminants, including metals and hydrocarbons (such as from petrol or diesel), in soil and/or groundwater associated with the former use of these lots as a service station and for motor vehicle servicing. Information currently available to the department indicates that further assessment and management of site contamination is required to demonstrate that land at Lots 84 and 85 is suitable for the proposed development for aged care.

Lot 54 Hamilton Street has not been reported or classified under the CS Act and the department holds no information relevant to the contamination status of Lot 54. The

department notes that most of the proposed development is to occur on Lots 84 and 85.

The department understands that the current application (DA20-082) is largely consistent with a previous application which was conditionally approved in 2018 (DAP/18/1379). Condition 31 of JDAP approval no. DAP/18/1379 requires the assessment of potential contamination prior to subdivision works, and the remediation and validation of contamination if required. Consistent with the existing approval, the department recommends the following contamination condition and advice are applied to any approval granted, consistent with condition EN9 and advice ENa2 as published in 'Model Subdivision Conditions Schedule' (Department of Planning, Lands and Heritage; WAPC, May 2020). The department is aware that appropriate actions have commenced, such as the engagement of an accredited contaminated sites auditor, to comply with such a condition.

#### **Condition X**

- a) Prior to commencement of development works, investigation for soil and groundwater contamination is to be carried out to determine if remediation is required.
- b) If required, remediation, including validation of remediation, of any contamination identified shall be completed prior to completion of construction works to the satisfaction of the Western Australian Planning Commission on advice from the Department of Water and Environmental Regulation, to ensure that the site is suitable for the proposed use.

Investigations and remediation are to be carried out in compliance with the *Contaminated Sites Act 2003* and current Department of Water and Environmental Regulation contaminated sites guidelines. (Department of Water and Environmental Regulation)

#### **Advice**

In relation to Condition [X] and in accordance with regulation 31(1)(c) of the *Contaminated Sites Regulations 2006*, a Mandatory Auditor's Report, prepared by an accredited contaminated sites auditor, will need to be submitted to the Department of Water and Environmental Regulation as evidence of compliance with Condition [X]. A current list of accredited auditors is available from [www.dwer.wa.gov.au](http://www.dwer.wa.gov.au).

The site is located within an area identified as having a moderate to low risk of acid sulfate soils occurring within 3 metres of the natural soil surface, but high to moderate risk of acid sulfate soils beyond 3 metres below the natural soil surface. The department notes that a similar development nearby to this site required active management of acid sulfate soils. Given that the proposed development involves the construction of a basement level carpark, it is likely that acid sulfate soil disturbance will occur through soil excavation and dewatering activities. Consistent with the previous JDAP approval, the department recommends that the following acid sulfate soils condition and advice note be applied, consistent with condition EN8 and advice ENa1, as published in 'Model subdivision conditions schedule' (Department of Planning, Lands and Heritage; WAPC, May 2020).

#### **Condition X**

- a) An acid sulphate soils self-assessment form and, if required as a result of the self-assessment, an acid sulphate soils report and an acid sulphate soils management plan shall be submitted to and approved by the Department of

Water and Environmental Regulation before any development works are commenced. Where an acid sulphate soils management plan is required to be submitted, all development works shall be carried out in accordance with the approved management plan. (Department of Water and Environmental Regulation)

**Advice**

Condition [X] makes reference to an “acid sulphate soils self-assessment form”. This form can be downloaded from the Western Australian Planning Commission’s website at: [www.dplh.wa.gov.au](http://www.dplh.wa.gov.au).

The “acid sulfate soils self-assessment form” makes reference to the Department of Environment and Conservation’s “Identification and Investigation of Acid Sulfate Soils” guideline. This guideline can be obtained from the Department of Water and Environmental Regulation website at: [www.dwer.wa.gov.au](http://www.dwer.wa.gov.au).

If you have any further queries, please contact Contaminated Sites Officer, Lomas Capelli, on 9841 0120.

Yours sincerely



Andrew Miller  
**SENIOR MANAGER**  
**CONTAMINATED SITES**  
**Delegated Officer under section 91**  
**of the *Contaminated Sites Act 2003***

26 August 2020





**mainroads**  
WESTERN AUSTRALIA

Enquiries: Lucas Hodgson on (08) 9323 4806  
Our Ref: 20/6059 (D20#764505)  
Your Ref: DA2020-082

8 September 2020

Chief Executive Officer  
Town of Bassendean  
PO Box 87  
BASSENDEAN WA 6054

Email: [mail@bassendean.wa.gov.au](mailto:mail@bassendean.wa.gov.au)

Dear Sir/Madam,

**PROPOSED AGE CARE FACILITY AND COMMERCIAL PROPOSAL - LOT 54 (27)  
HAMILTON STREET AND LOT 84 (68) AND LOT 85 (70) OLD PERTH ROAD BASSENDEAN  
(DAP/20/01833)**

In response to your correspondence received on 17 August 2020, Main Roads has no objections subject to the following condition being imposed.

1. Prior to commencement of development, electronic school speed zone signage on Hamilton Street is to be relocated to the satisfaction of Main Roads, at applicant expense.

Advice to Applicant:

1. Further to condition 1 above, applicant is to liaise with Main Roads, providing detailed crossover plans, and gain Main Roads approval prior to signage being modified. All costs associated with works will be at cost of the developer and will be paid in full upfront, prior to commencing works. It is noted that a 6-week lead-time is required for the relocation approval process. Relevant Main Roads team can be contacted at;  
[murray.cocking@mainroads.wa.gov.au](mailto:murray.cocking@mainroads.wa.gov.au)

Should the City disagree with or resolve not to include as part of its conditional approval any of the above conditions or advice, Main Roads requests an opportunity to meet and discuss the application further, prior to a final determination being made.

Main Roads requests a copy of the City's final determination on this proposal to be sent to [planninginfo@mainroads.wa.gov.au](mailto:planninginfo@mainroads.wa.gov.au) quoting the file reference above.

Yours sincerely

  
Zeljko Zagorac  
Statutory Road Planning Manager